

November 11, 2024

ADDENDUM NO. 02 to the plans and specifications for MACOMB COUNTY – COUNTY WAREHOUSE – F & O AND PURCHASING OFFICE RENOVATION, CLINTON TOWNSHIP, MI, Architect’s Project No. 242053, dated OCTOBER 31, 2024

Drawings G0.0, G2.0, G3.0, LS1.0, AD1.0, A1.0, A1.0A, A1.1, A1.2, A1.3, A2.0, A3.0, A4.0, A4.1 and A9.1 are being issued with this Addendum.

ARCHITECTURAL ITEMS:

- ITEM NO. A1:** Refer to Sheet G0.0:
1. Reissued sheet.
- ITEM NO. A2:** Refer to Sheet G2.0:
1. Sheet re-issued.
- ITEM NO. A3:** Refer to Sheet G3.0:
1. Sheet re-issued.
- ITEM NO. A4:** Refer to Sheet LS1.0:
1. Sheet re-issued.
- ITEM NO. A5:** Refer to Sheet AD1.0:
1. Sheet re-issued.
- ITEM NO. A6:** Refer to Sheet A1.0:
1. Sheet re-issued.
- ITEM NO. A7:** Refer to Sheet A1.0A:
1. Sheet re-issued.
- ITEM NO. A8:** Refer to Sheet A1.1:
1. Sheet re-issued.
- ITEM NO. A9:** Refer to Sheet A1.2:
1. Sheet re-issued.
- ITEM NO. A10:** Refer to Sheet A1.3:
1. Sheet re-issued.
- ITEM NO. A11:** Refer to Sheet A2.0:
1. Sheet re-issued.
- ITEM NO. A12:** Refer to Sheet A3.0:
2. Sheet re-issued.

ITEM NO. A13: Refer to Sheet A4.0:
1. Sheet re-issued.

ITEM NO. A14: Refer to Sheet A4.1:
1. Sheet issued.

ITEM NO. A15: Refer to Sheet A9.1:
2. Sheet re-issued.

END OF ADDENDUM NO. 2

Cc: Mary Schultz, Macomb County
Ben Treppa, Macomb County Facilities & Operations
Anthony Torelli, Macomb County
Dan Waters, Wakely Associates
Ron Syme, Wakely Associates



MACOMB COUNTY BOARD OF COMMISSIONERS

F & O / PURCHASING OFFICE RENOVATION

VIC WERTZ BUILDING

ISSUED FOR: BID SET
DATE: OCTOBER 31, 2024
PROJECT NO.: 242053

ARCHITECT:

 WAKELY ASSOCIATES, INC./ ARCHITECTS
30500 VAN DYKE AVE, SUITE 209, WARREN, MI 48093, 586.573.4100

MECHANICAL/ ELECTRICAL ENGINEERS:

 UNIFIED BUILDING SYSTEMS ENGINEERING, LLC
75 N. MAIN ST. SUITE 221, MT. CLEMENS, MI 48043, 248.804.1741

STRUCTURAL ENGINEER:

 ANDERSON, ECKSTEIN, & WESTRICK, INC.
51301 SCHOENHERR RD, SHELBY TOWNSHIP, MI 48315, 586.726.1234

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1	VIC WERTZ BUILDING 44900 VIC WERTZ DRIVE CLINTON TOWNSHIP, MI 48036
Location Map	

ENGINEER SEAL:	ARCHITECT SEAL:

NEW WORK KEY NOTES - FLOOR PLAN:

- 1.01 PROVIDE NEW SOFFIT DROP OVER ALL DEMOUNTABLE PARTITIONS IN PURCHASING AREA ONLY. (SEE DETAIL 13 ON SHT. A1.1)
- 1.02 REMOVE ALL GYP. BOARD AND TRIM AROUND WINDOWS. REPLACE EXISTING GYP. BRD. AND WINDOW SILL WITH NEW SOLID SURFACE WINDOW SILL. CAULK BETWEEN DISSIMILAR MATERIALS.
- 1.03 LOCATION OF NEW WALL HUNG TV (BY OWNER). PROVIDE REINFORCING IN DEMOUNTABLE WALL. PROVIDE POWER AND DATA FOR NEW TV. (SEE ELEC. DRAWINGS)
- 1.04 EXTEND NEW PARTITION INTO EXISTING WINDOW OPENING AND TIE INTO EXISTING MULLION. CAULK BETWEEN DISSIMILAR MATERIAL.
- 1.05 BELOW WINDOW: FUR OUT EXISTING EXTERIOR WALL W/ 2" HAT CHANNELS. INSTALL 2" RIGID INSULATION OVER ENTIRE WALL AND COVER WITH (1) LAYER OF 5/8" HIGH ABUSE GYP. BRD. PAINTED.
ABOVE WINDOW: FUR OUT EXISTING WALL WITH 6" METAL STUDS AT 16" O.C. W/ 2" RIGID INSULATION FASTENED TO EXISTING EXTERIOR WALL. INSTALL 5/8" HIGH ABUSE GYPSUM BOARD. PAINTED. CONSTRUCT POCKETS FOR ROLLER SHADES. COORDINATE WITH SHADE MANUFACTURER AND SUPPLIER. (SEE DETAIL)
- 1.06 CONSTRUCT NEW 3/8" METAL STUD HEAD W/ MINERAL WOOL INSULATION AND (1) LAYER OF 5/8" GYP. BRD. EACH SIDE (PAINTED) ABOVE ALL DEMOUNTABLE PARTITIONS IN PURCHASING AREA ONLY. F&O AREA IS OPEN TO EXISTING STRUCTURE.
- 1.07 CORE NEW HOLE IN EXISTING CONCRETE MASONRY WALL FOR NEW MECHANICAL SYSTEM. SEE MECHANICAL DRAWINGS FOR EXACT SIZE.
- 1.08 OPEN EXISTING CONCRETE MASONRY WALL FOR NEW MECHANICAL SYSTEM. SEE MECHANICAL DRAWINGS FOR EXACT SIZE. PROVIDE NEW PRE-CAST CONCRETE LINTEL FOR OPENING MIN. 8" BEARING EACH SIDE.
- 1.09 STUFF ALL EXISTING PENETRATIONS IN EXISTING WALLS AND FIRE CAULK. INSTALL FIRE SPRAY ON ENTIRE CEILING IN VESTIBULE A103 FOR A 2 HR. FIRE SEPARATION.
- 1.10 PREPARE EXISTING MASONRY WALL AND INSTALL 24"x12" PORCELAIN CERAMIC TILE ON WALL FROM FLOOR TO 8'-0" TALL. PAINT WALL ABOVE. INSTALL CUSTOM OPAQUE GLASS WITH ETCHED MACOMB HISTORY PROVIDED THROUGH THE COUNTY. PANELS OF GLASS SHALL BE INSTALLED WITH STAND-OFFS FASTENED TO THE NEW TILE AND MASONRY WALL.
- 1.11 OPEN UP EXISTING GYPSUM BOARD WALLS FOR INSTALLATION OF NEW SANITARY LINE AND PLUMBING FIXTURES. REPAIR WALLS AS REQUIRED AND PAINT TO MATCH.
- 1.12 INFILL EXISTING DOOR W/ 3/8" MTL. STUDS AT 16" O.C. W/ SOUND ATTENUATING INSULATION AND (1) LAYER OF 5/8" HIGH ABUSE GYP. BRD. EACH SIDE PAINTED.
- 1.13 PROVIDE 6" MIN. 3/8" MTL. STUD CHASE FROM CEILING TO FLOOR FOR POWER AND OTHER ITEMS TO TRANSVERSE DOWN. (TYPICAL)
- 1.14 INSTALL NEW CLUTCH OPERATED FLEX SHADE IN BOX OUT HEAD DETAIL. (SEE DETAIL)
- 1.15 DEMOLISH PORTION OF EXISTING ROOF TO PREPARE FOR NEW MECHANICAL CURB INSTALLATION. PROVIDE ALL REQUIRED SUPPORT STEEL FOR ROOF DUCTWORK PENETRATIONS. AFTER NEW CURB IS INSTALLED FLASH AND ROOF IN AS REQUIRED FOR A WATERTIGHT SOLUTION. EXISTING ROOF IS MANUFACTURED BY TREMCO. PROVIDE A CERTIFIED TREMCO INSTALLER TO PERFORM WORK SO WARRANTY IS NOT VOIDED. PROVIDE TREMCO APPROVED WALK MATS AROUND ENTIRE PERIMETER OF NEW ROOF TOP UNIT.
- 1.16 DEMOLISH PORTION OF EXISTING ROOF TO PREPARE FOR NEW SUN DOME AND TUNNEL BY VELLUX THROUGH THE EISEN GROUP 248-319-7763. PROVIDE REQUIRED CURB AND ROOF PENETRATION INCLUDING 4x3x2" LVL SUPPORT STEEL ANGLE FOR OPENING. FLASH AND ROOF IN AS REQUIRED FOR A WATERTIGHT SOLUTION. EXISTING ROOF IS MANUFACTURED BY TREMCO. PROVIDE A CERTIFIED TREMCO INSTALLER TO PERFORM WORK SO WARRANTY IS NOT VOIDED.

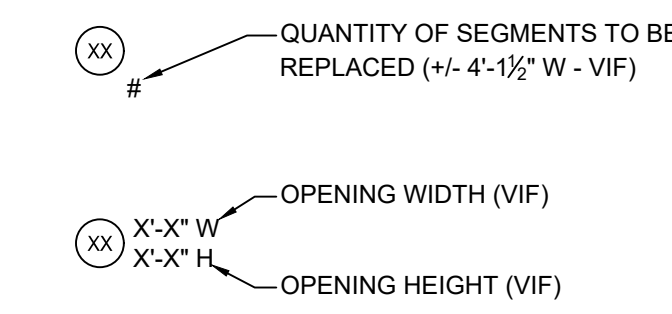
DEMOLITION KEY NOTES - FLOOR PLAN:

- 1 REMOVE EXISTING WOOD DOOR, FRAME AND HARDWARE COMPLETE. DISPOSE OF DOOR AND FRAME. SALVAGE ALL EXISTING HARDWARE AND HAND OVER TO OWNER.
- 2 REMOVE EXISTING WALL COMPLETE.
- 3 REMOVE EXISTING FLOOR COVERING COMPLETE INCLUDING RUBBER BASE.
- 4 REMOVE EXISTING LAY-IN CEILING COMPLETE. PREP FOR NEW LAY-IN CEILING AND LIGHTING. (SEE ELEC. DRAWINGS)
- 5 REMOVE TOILET AND PLUMBING COMPLETE. SAWCUT EXISTING CONC. FLOOR AS REQ'D. CAP EXISTING PLUMBING BELOW GRADE. PATCH EXISTING FLOOR AS REQUIRED. (SEE MECH. DRAWINGS)
- 6 REMOVE SINK AND PLUMBING COMPLETE. OPEN EXISTING WALL AS REQ'D. CAP EXISTING PLUMBING BELOW GRADE. (SEE MECH. DRAWINGS)
- 7 CUT A 4'-0"x4'-0" WINDOW IN EXISTING MASONRY WALL. PROVIDE NEW PRECAST LINTEL AT EACH OPENING W/ MIN. 8" BRG. EACH SIDE.
- 8 REMOVE EXISTING WALLBOARD COMPLETE INCLUDING FURRING STRIPS.
- 9 REMOVE EXISTING WINDOW SILL.
- 10 REMOVE ALL EXISTING TOILET ROOM ACCESSORIES AND REPLACE WITH NEW. SEE PLAN DETAILS.
- 11 REMOVE EXISTING ALUMINUM STORE FRONT SYSTEM COMPLETE INCLUDING ALL HARDWARE. PATCH EXISTING WALLS AS REQUIRED WITH LIKE MATERIALS.
- 12 REMOVE EXISTING ALUMINUM VESTIBULE SYSTEM COMPLETE. PATCH ALL EXISTING WALLS AS REQUIRED WITH LIKE MATERIALS.
- 13 SAWCUT AND REMOVE EXISTING CONCRETE FLOOR AS REQUIRED FOR NEW ELECTRICAL FLOOR BOX AND UNDERGROUND CONDUIT INSTALLATION. PROVIDE NEW 4" CONCRETE SLAB W/ #5 BARS (EACH SIDE) @12" O.C. EPOXY SET (EMBED 4" MIN.) ON 15 MIL. VAPOR BARRIER OVER 4" MIN. GRANULAR FILL. PROVIDE EXPANSION PAPER AS REQUIRED.
- 14 SAWCUT AND REMOVE EXISTING CONCRETE FLOOR AS REQUIRED FOR NEW SANITARY LINE INSTALLATION. PROVIDE NEW 4" CONCRETE SLAB W/ #5 BARS (EACH SIDE) @12" O.C. EPOXY SET (EMBED 4" MIN.) ON 15 MIL. VAPOR BARRIER OVER 4" MIN. GRANULAR FILL. PROVIDE EXPANSION PAPER AS REQUIRED.
- 15 REMOVE EXISTING GYPSUM BOARD COMPLETE INCLUDING FURRING DOWN TO EXTERIOR WALL. REMOVE FIN-TUBE RADIATION. COMPLETE (SEE MECH.)
- 16 REMOVE EXISTING HORIZONTAL BLINDS AND HANGING HARDWARE COMPLETE.
- 17 REMOVE EXISTING WALL AS REQUIRED FOR NEW DOOR INSTALLATION. PROVIDE NEW PRE-CAST LINTEL W/ MIN. 8" BRG. EACH SIDE. TOOTH IN MASONRY AS REQUIRED. PAINT AFTER DOOR IS INSTALLED.

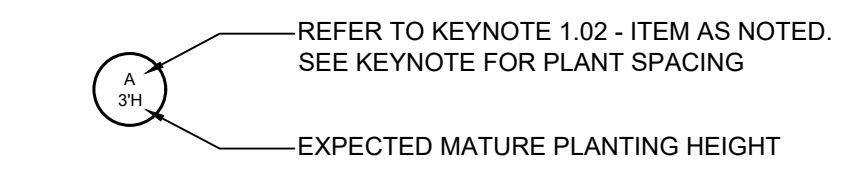
NEW WORK PLAN - GENERAL NOTES:
(APPLIES TO ALL ROOMS)

1. ALL DIMENSIONS TO EXISTING ELEMENTS TO BE CONSIDERED +/- (V.I.F.)
2. PATCH, PREP. & PAINT ALL AREAS DISTURBED BY CONSTRUCTION
3. REMOVE, SALVAGE, & REINSTALL ALL EXIST SIGNAGE ON EXIST DOORS TO BE REPLACED (VIF)
4. PREP & PAINT EXISTING CONSTRUCTION TO MATCH EXISTING AT ALL AREAS OF DEMO'D MECH / ELEC FIXTURES (I.E. SURFACE MOUNTED LIGHTS, EXIT LIGHTING, ELEC PANELS, ETC.)
5. REMOVE & REPLACE EXISTING ACOUSTIC CEILING TILES, GRILLES, REGISTERS, AND DIFFUSERS AS REQUIRED FOR NEW WORK - SEE MECH & ELEC DWGS.
6. ALL OUTSIDE CORNERS OF ALL NEW PLASTIC LAMINATE COUNTERTOP TO HAVE A RADIUS.
7. IN AREAS TO RECEIVE NEW FLOORING, CONTRACTOR TO PROTECT EXISTING EQUIPMENT TO REMAIN (E.G., PROJECTORS, DIGITAL DISPLAYS, SOUND SYSTEM AMPLIFIERS, WIRELESS ACCESS POINTS, ETC.) IN EACH ROOM AFFECTED - BY OTHERS.
8. IN AREAS TO RECEIVE NEW CEILING SYSTEMS, CONTRACTOR TO TEMPORARILY SUPPORT & PROTECT EXISTING TECHNOLOGY EQUIPMENT TO REMAIN AS REQUIRED FOR NEW WORK IN EACH ROOM AFFECTED - BY OTHERS.

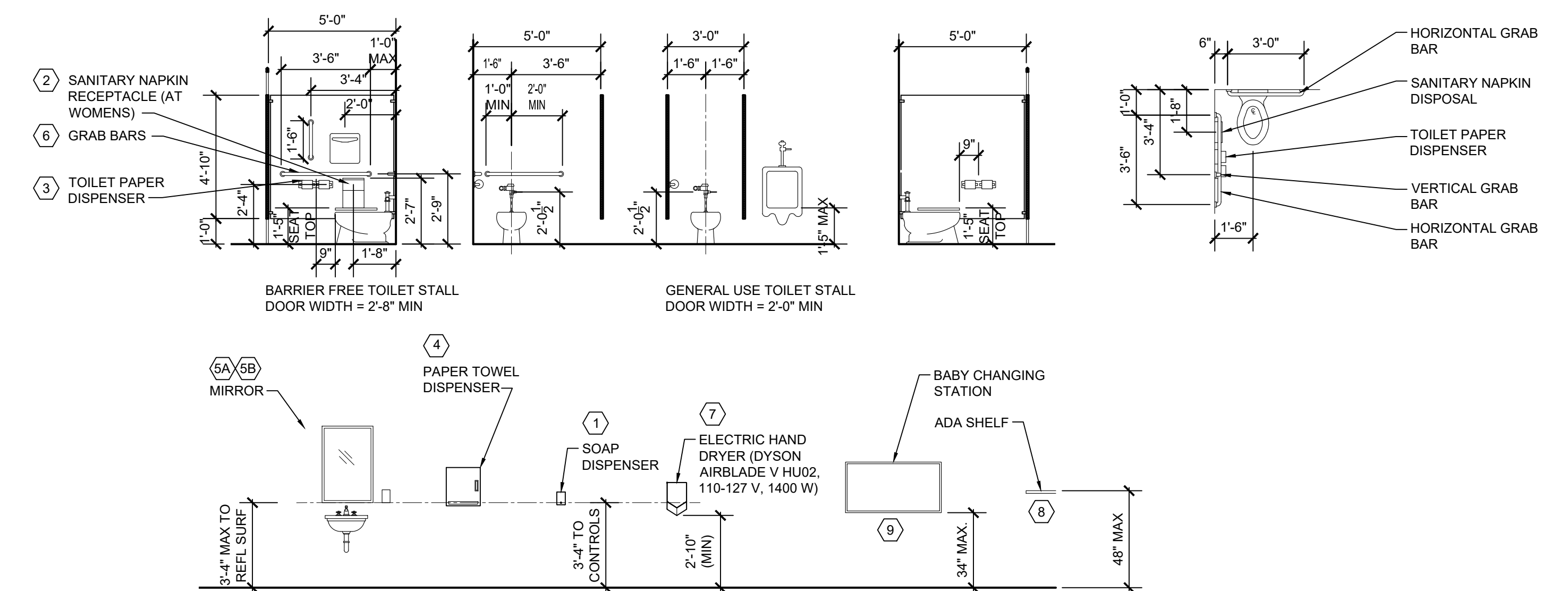
KEY NOTES LEGEND:



LANDSCAPE LEGEND:



FLOOR PLAN LEGEND:



TOILET ROOM FIXTURES & ACCESSORIES

SCALE: 1/4" = 1'-0"

TOILET ACCESSORY KEYNOTES:

- 1 SOAP DISPENSER (OF/CI)
- 6 GRAB BARS (CF/CI)
- 2 SANITARY NAPKIN DISPOSAL (CF/CI)
- 7 ELECTRIC HAND DRYER (CF/CI - SEE KEYNOTE 2.26)
- 3 TOILET TISSUE DISPENSER (OF/CI)
- 8 ST. STL SHELF (CF/CI)
- 4 PAPER TOWEL DISPENSER (OF/CI)
- 9 BABY CHANGING STATION
- 5A MIRROR (CF/CI)
- 5B MIRROR W/ SHELF (CF/CI)

BUILDING CODE SUMMARY CONT.

EXIT REQUIREMENTS (B AND S ARE THE SAME UNLESS NOTED OTHERWISE):

DEAD END LIMIT-MAXIMUM CONDITION (1020.4 W/EXCEPTION #2)
 ALLOWED 50 FT. ACTUAL 43'-10" IN WORK AREA

TRAVEL DISTANCE TO EXIT-MAXIMUM CONDITION (TABLE 1017.2)
 W/SPRINKLER/ALLOWED 250 FT. ACTUAL 143'-8" IN WORK AREA

COMMON PATH OF TRAVEL 1006.3.2 (2) (WITH SPRINKLER SYSTEM)
 ALLOWED 100 FT ACTUAL IN WORK AREA 51'-8" (NOTE B ALLOWS 100 FEET)

NUMBER EXITS (PER STORY):
 REQUIRED (TABLE 1006.3.1) TOTAL
 OCCUPANT LOAD 205+ 365 = 570 OCCUPANTS
 REQUIRED (3) ACTUAL (15)
 REQUIRED IN BUSINESS AREA = 205 OCCUPANTS
 REQUIRED (2) ACTUAL (3)

DESIGN LOADS: (SEE STRUCTURAL DRAWINGS)
 ROOF LIVE LOAD: 20 PSF
 WIND: 80 MPH, 23 PSF
 FLOOR: 100PSF 1ST FLOOR CORRIDORS, 100# CONCENTRATED
 SNOW: 30 PSF
 SEISMIC: SDS = 0.095
 SD1 = 0.072
 DESIGN CAT B

LATERAL DESIGN: 21 PSF

SOIL BEARING CAPACITIES:
 ASSUMED NET SOILS BEARING CAPACITY = 2000 PSF

SPECIAL APPROVAL BY LOCAL JURISDICTION, DESCRIBE BELOW: N/A

BUILDING CODE SUMMARY CONT.

2021 MICHIGAN PLUMBING CODE

1 WATER CLOSET/ 100 MALES: 183/100 = (2) WATER CLOSETS REQUIRED
 EXISTING: 4 WC, 3 URINALS

1 WATER CLOSET/ 100 FEMALES: 183/100 = (2) WATER CLOSETS REQUIRED
 EXISTING: 6 WC

1 LAV/PER 100 MALES = (2) LAVS REQUIRED
 EXISTING: 1 LAV AND A HALF BRADLEY IN GANG TOILET ROOMS

1 LAV/PER 100 FEMALES = (2) LAVS REQUIRED
 EXISTING: 1 LAV AND A HALF BRADLEY IN GANG TOILET ROOMS

MINIMUM REQUIRED FOR THE ENTIRE FACILITY B AND S-1/S-2:
 MALE FEMALE
 WATER CLOSETS URINALS LAVS WATER CLOSETS LAVS

B	3	-	3	3	3
S-1/S-2	2	-	2	2	2
TOTALS	5	-	5	5	5

PROVIDED (NEW AND EXISTING) FOR THE ENTIRE FACILITY B AND S-1/S-2:
 (NOTE: NEW UNISEX TOILET ROOMS NOT COUNTED) HALF BRADLEY COUNTED AS 4 LAVS

MALE	FEMALE
WATER CLOSETS URINALS LAVS	WATER CLOSETS LAVS
B	1 - 1 1 1
S-1/S-2	4 3 4* 6 4*
TOTALS	5 3 6 7 6

TOTAL EXISTING AND NEW FIXTURES GREATER THAN QUANTITY NEEDED IN FACILITY

BUILDING CODE SUMMARY

PROJECT: MACOMB COUNTY - COUNTY WAREHOUSE FACILITIES AND OPERATIONS AND PURCHASING OFFICE RENOVATIONS RENOVATION

ADDRESS: COUNTY WAREHOUSE 44900 VIC WERTZ DRIVE, CLINTON TWP, MICHIGAN 48036

PROPOSED USE: EXISTING FACILITY - MIXED USE B, S-1 AND S-2 RENOVATION OF BUSINESS AREA OF THE FACILITY UNDER 2015 MRC AND 2015 MFC, 2921 MFC, 2021 MFC AND 2023 NEC (MICHIGAN ELECTRICAL CODE)

REFERENCE CODES:
 RENOVATION: MICHIGAN REHABILITATION CODE, 2015 EDITION
 BUILDING: MICHIGAN BUILDING CODE, 2015 EDITION
 MECHANICAL: MICHIGAN MECHANICAL CODE, 2021 EDITION
 PLUMBING: MICHIGAN PLUMBING CODE, 2021 EDITION
 ELECTRICAL: MICHIGAN ELECTRICAL CODE, (2023 NEC WITH PART 8 TECHNICAL AMENDMENTS)
 ENERGY: MICHIGAN ENERGY CODE, 2015 EDITION

BUILDING DATA

USE GROUP
 () ASSEMBLY () INSTITUTIONAL
 () BUSINESS () MERCANTILE
 () EDUCATIONAL () RESIDENTIAL
 () FACTORY-INDUSTRIAL-LOW HAZARD (X) STORAGE-LOW HAZARD (S-2)
 () FACTORY-INDUSTRIAL-MODERATE HAZARD (X) STORAGE-MOD. HAZARD (S-1)
 () HIGH HAZARD () UTILITY MISCELLANEOUS

CONSTRUCTION TYPE
 () TYPE 1A - PROTECTED () TYPE 3 - PROTECTED
 () TYPE 1B - PROTECTED () TYPE 3 - UNPROTECTED
 () TYPE 2A - PROTECTED () TYPE 4 - HEAVY TIMBER
 (X) TYPE 2B - UNPROTECTED () TYPE 5 - PROTECTED
 () TYPE 5 - UNPROTECTED (X) MIXED CONSTRUCTION TYPE - SEPARATED (B, S-1 TO S-2)

SPRINKLED? (X) REQUIRED (X) PROVIDED

BUILDING HEIGHT: PERMITTED: 3 STORIES (504.4), 75 FEET (WITH SPRINKLER SYSTEM - 504.2) TYPE 2B

ACTUAL: 2 STORY 25 FEET BUSINESS (B)
 2 STORY 25 FEET STORAGE (S-1)
 1 STORY 25 FEET STORAGE (S-2)

MEZZANINE: () YES (X) NO
 HIGH RISE: () YES (X) NO

GROSS BUILDING AREA:
 GRADE LEVEL: 103,012 S.F.
 BASEMENT: NA
 2ND LEVEL: 6,271 S.F.
 TOTAL AREA: 109,283 S.F.

WORK AREA (BUSINESS AREA)
 GRADE LEVEL: 12,514 S.F.
 2ND LEVEL: 0 S.F.
 TOTAL: 12,514 S.F.

TOTAL AREA (BUSINESS AREA)
 GRADE LEVEL: 12,514 S.F.
 2ND LEVEL: 5,271 S.F.
 TOTAL: 17,785 S.F.

20,485 S.F./12,514 S.F. = .60 - LEVEL 3 ALTERATION UNDER 2015 MRC

HOURLY RATING (1)	DETAIL # & SHEET #	%WALL OPENING RATED ASSEMBLIES

PARTY/FIREWALLS:
 EXTERIOR BEARING WALLS (FIRE SEPARATION DISTANCE > 30 FEET)
 NORTH 0
 EAST 0
 WEST 0
 SOUTH 0

EXTERIOR NON-BEARING (FIRE SEPARATION DISTANCE > 30 FEET)
 WALLS NORTH 0
 EAST 0
 WEST 0
 SOUTH 0

INTERIOR WALLS BEARING 0
 NON-BEARING 0
 TENANT SEPARATION NA - MACOMB COUNTY IS THE ONLY TENANT

FIRE SEPARATION ASSEMBLIES
 EXIT ENCLOSURES: 2
 CEILING-FLOORS: 0
 ASSEMBLY: 0
 BEAMS: 0
 COLUMNS: 0
 CEILING-ROOF ASSEMBLY: 0
 VERTICAL SHAFTS: 2

MIXED OCCUPANCY SEPARATION
 TENANT SEPARATION: 1 HOUR BETWEEN OCCUPANCY CLASSIFICATION B, S-1 TO S-2

EXIT ACCESS CORRIDORS (1020.1): 0 (B AND S-1/S-2 ARE THE SAME)

LIFE SAFETY SYSTEMS:
 EMERGENCY LIGHTING & EXIT SIGNS: (X) REQUIRED (X) PROVIDED
 FIRE ALARMS: (X) REQUIRED (X) PROVIDED
 SMOKE DETECTIONS SYSTEMS: (X) REQUIRED (X) PROVIDED
 PANIC HARDWARE: (X) REQUIRED (X) PROVIDED
 FIRE SUPPRESSION SYSTEM: (X) REQUIRED (X) PROVIDED
 STANDPIPE SYSTEM: () REQUIRED () PROVIDED

OCCUPANT LOAD:
 BUSINESS = 1 PERSON/100 GROSS SQUARE FEET
 TOTAL AREA: 20,485 S.F.

20,485 S.F./100 = 205 PERSONS TOTAL CALCULATED, ACTUAL OCCUPANT LOAD LESS THAN 15 PERSONS IN EACH TOTAL WORK AREA WITH A UNISEX LAV.

103 FEMALE
 103 MALE

2021 MICHIGAN PLUMBING CODE

1 WATER CLOSET/ 25 MALES FOR THE FIRST 50 MALES THEN 1 WC FOR EACH 50 MALES THEREAFTER = 2 WATER CLOSETS REQUIRED
 EXISTING: 1 WATER CLOSET, 1 URINAL
 NEW: 1 WATERCLOSET IN EACH NEW UNISEX LAVATORY - TOTAL OF 2.

1 WATER CLOSET/ 25 FEMALES FOR THE FIRST 50 FEMALES THEN 1 WC FOR EACH 50 FEMALES THEREAFTER = 2 WATER CLOSETS REQUIRED
 EXISTING: 2 WATER CLOSETS
 NEW: 1 WATERCLOSET IN EACH NEW UNISEX LAVATORY - TOTAL OF 2.

1 LAV/PER 40 MALES FOR THE FIRST 80 MALES THEN 1 PER EACH 80 MALES THEREAFTER = (2) LAVS REQUIRED
 EXISTING: 1 LAV
 NEW: 1 LAV IN EACH NEW UNISEX LAVATORY

1 LAV/PER 40 FEMALES FOR THE FIRST 80 FEMALES THEN 1 PER EACH 80 FEMALES THEREAFTER = (2) LAVS REQUIRED
 EXISTING: 1 LAV MINIMUM

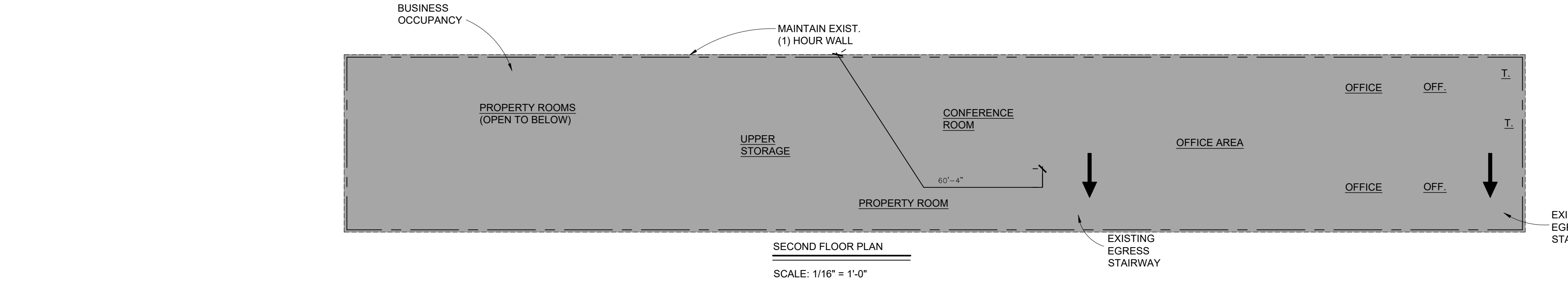
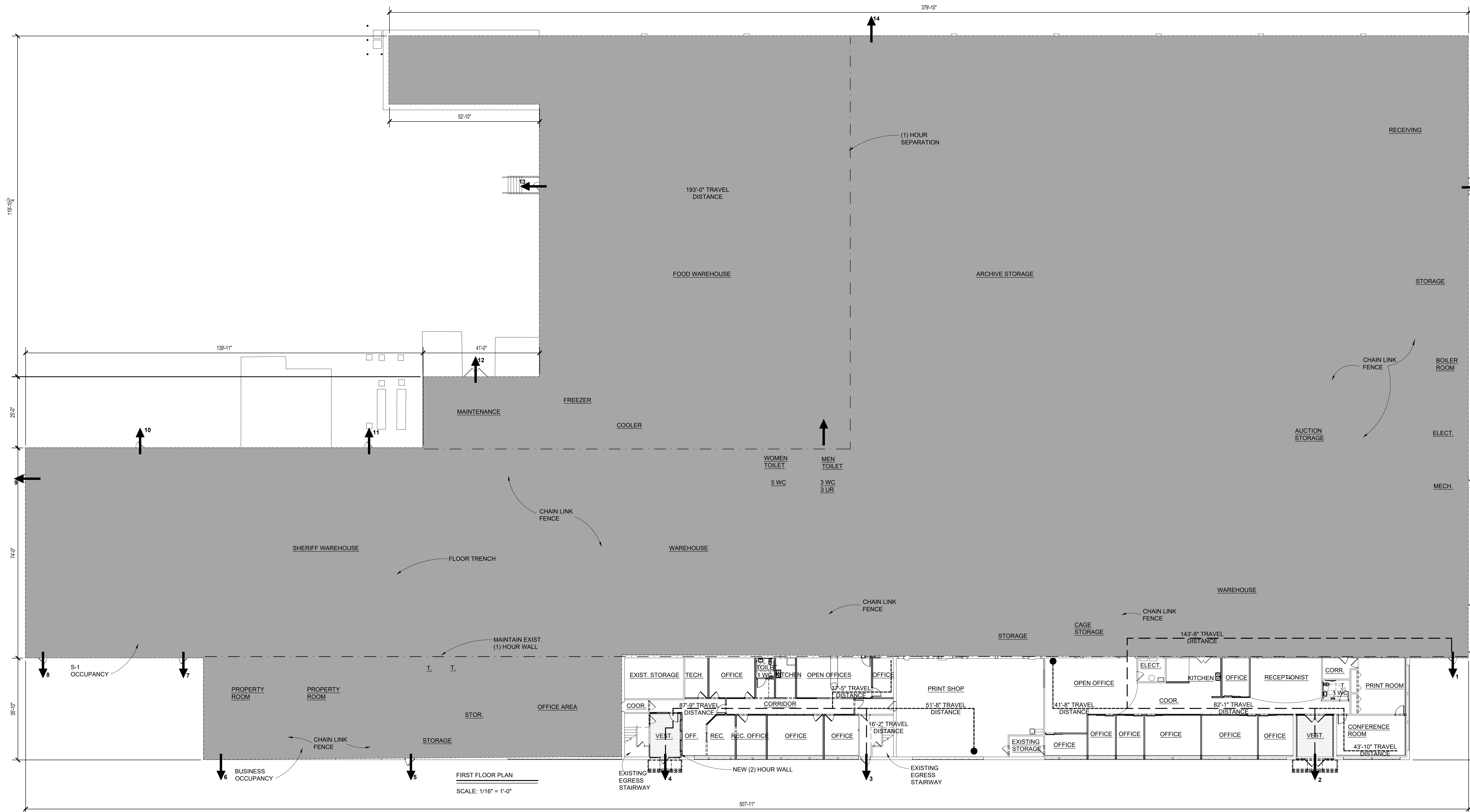
1 DRINKING FOUNTAIN/1000 PERSONS, 205 PERSONS IN BUSINESS OCCUPANCY + (1) DRINKING FOUNTAIN REQUIRED
 EXISTING: 2 EXISTING. WATER WILL BE PRESENT IN NEW BREAKROOMS.

1 SERVICE SINK REQUIRED
 EXISTING: 1 MINIMUM IN FACILITY

NOTE:
 B OCCUPANCY AREAS ARE FREE TO USE TOILETS IN THE NON-SEPARATED S-1 AREAS.

STORAGE - S-1 AND S-2 AREA: 109,283 S.F.
 109,283 S.F./300 S.F./PERSON = 365 PERSONS TOTAL CALCULATED

183 MALES
 183 FEMALES



CODE ANALYSIS PLAN

SCALE: 1/16" = 1'-0"

BUILDING CODE PLAN LEGEND

- EXTERIOR EGRESS LOCATIONS
- EGRESS PATH OF TRAVEL
- - - COMMON PATH OF TRAVEL
- - - 1 HOUR FIRE RATED WALL
- - - 2 HOUR FIRE RATED WALL
- EXISTING WALL CONSTRUCTION
- NEW WALL CONSTRUCTION
- NEW CMU WALL CONSTRUCTION
- EXISTING AREA TO REMAIN

WA

WAKELY ASSOCIATES, INC. ARCHITECTS

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MACOMB COUNTY F & O / PURCHASING OFFICE RENOVATION VIC WERTZ BUILDING

CODE ANALYSIS PLAN

PRELIMINARY
 DESIGN DEVELOPMENT
 CONSTRUCTION
 FINAL RECORD

DRAWN BY: DC/WNL
 CHECKED BY: RS/DCW

REVISIONS
 ADDENDUM No. 1 11-7-2024
 ADDENDUM No. 2 11-11-2024

DATE: OCTOBER 31, 2024
 SHEET NO.
LS1.0
 JOB NO. 242053

NEW WORK KEYNOTES:

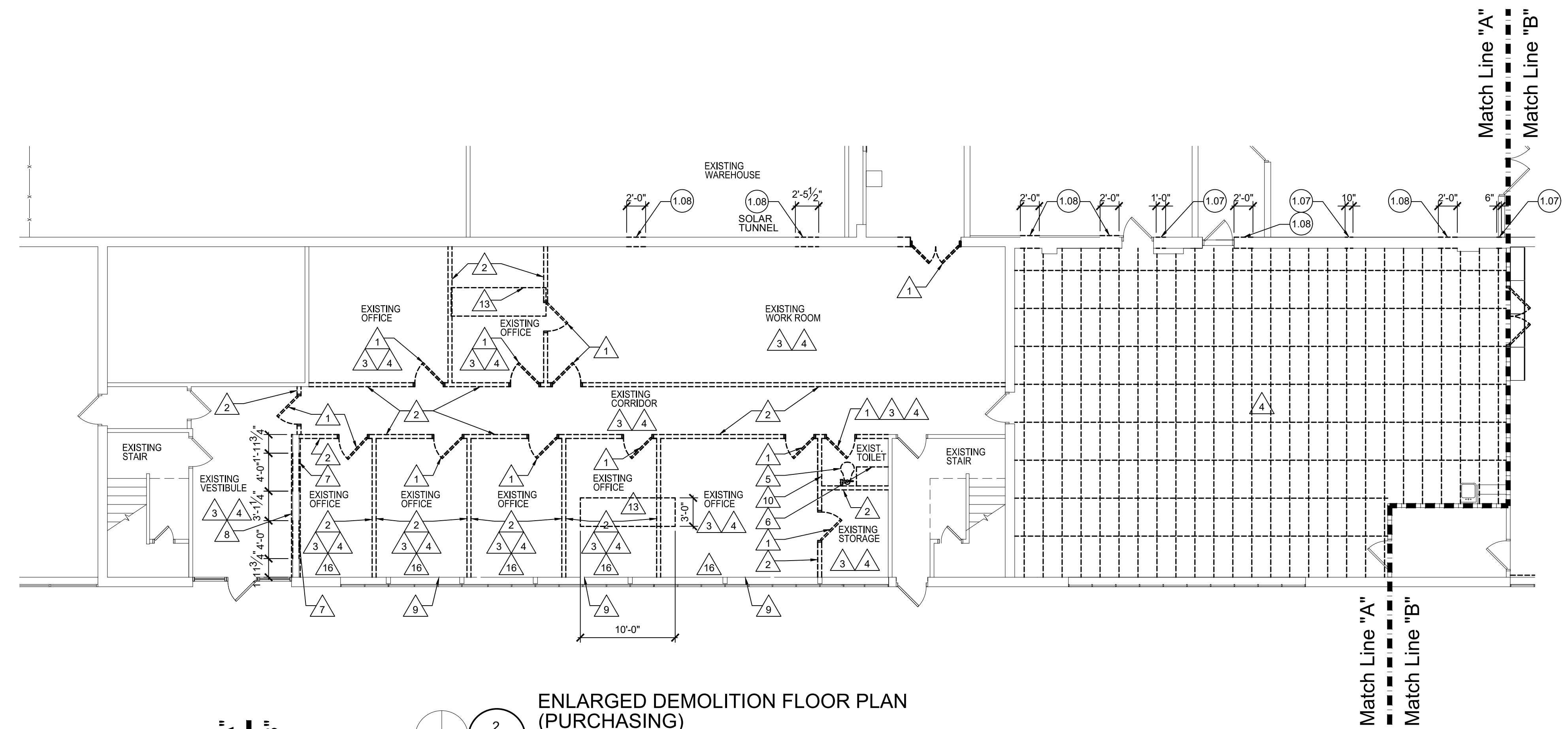
SEE SHEET G3.0 FOR ALL KEYNOTES.



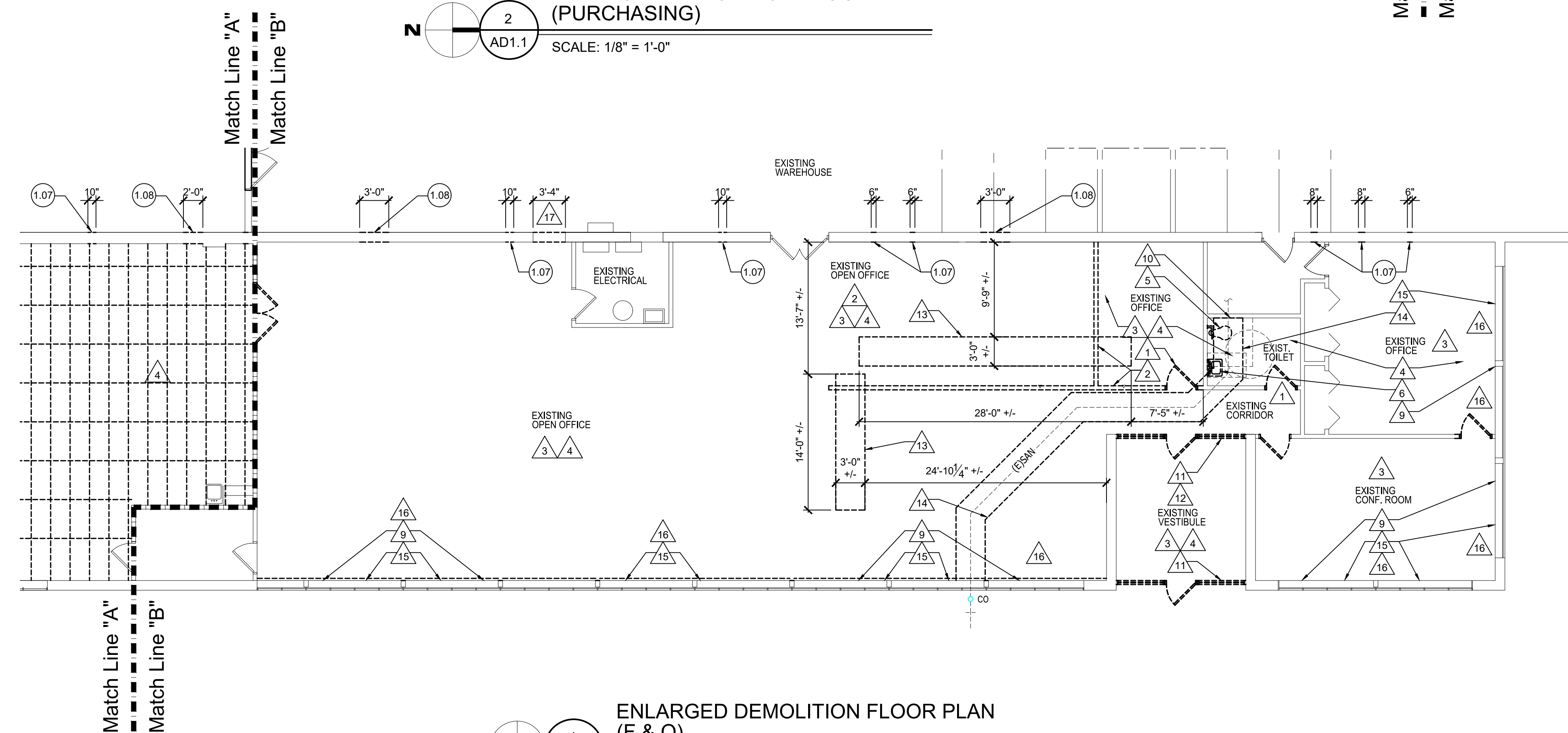
WAKELY ASSOCIATES, INC.
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30500 VAN DYKE AVENUE
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**MACOMB COUNTY
F & O / PURCHASING OFFICE RENOVATION
VIC WERTZ BUILDING**



**ENLARGED DEMOLITION FLOOR PLAN
(PURCHASING)**
SCALE: 1/8" = 1'-0"



**ENLARGED DEMOLITION FLOOR PLAN
(F & O)**
SCALE: 1/8" = 1'-0"

DEMOLITION PLAN

- PRELIMINARY
- DESIGN DEVELOPMENT
- CONSTRUCTION
- FINAL RECORD

DRAWN BY: DCW/NL
CHECKED BY: RS/DCW

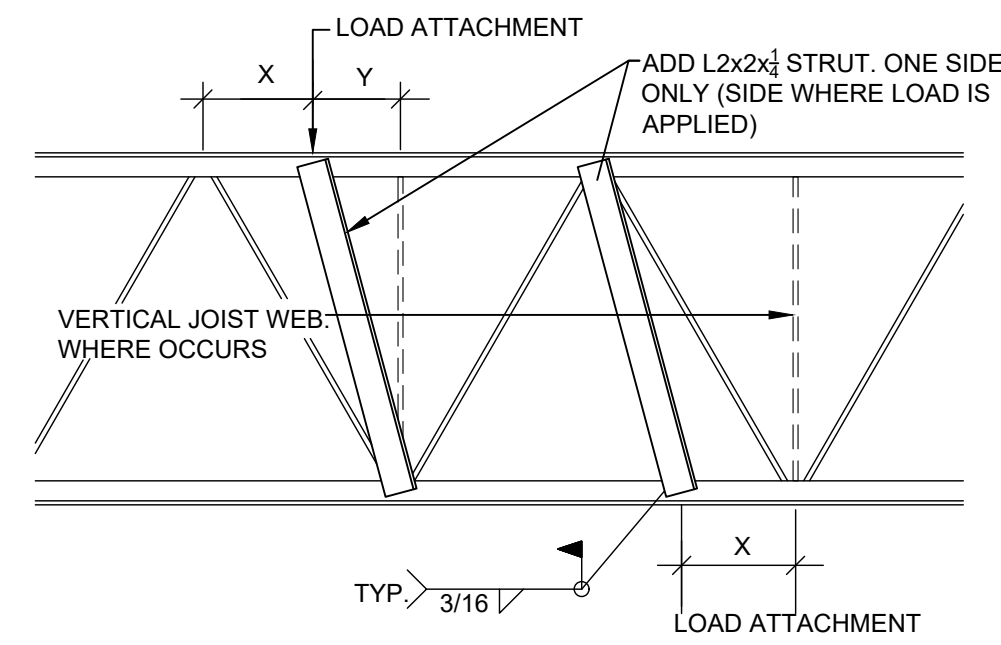
REVISIONS
ADDENDUM No. 1 11-7-2024
ADDENDUM No. 2 11-11-2024

DATE: OCTOBER 31, 2024

SHEET NO.

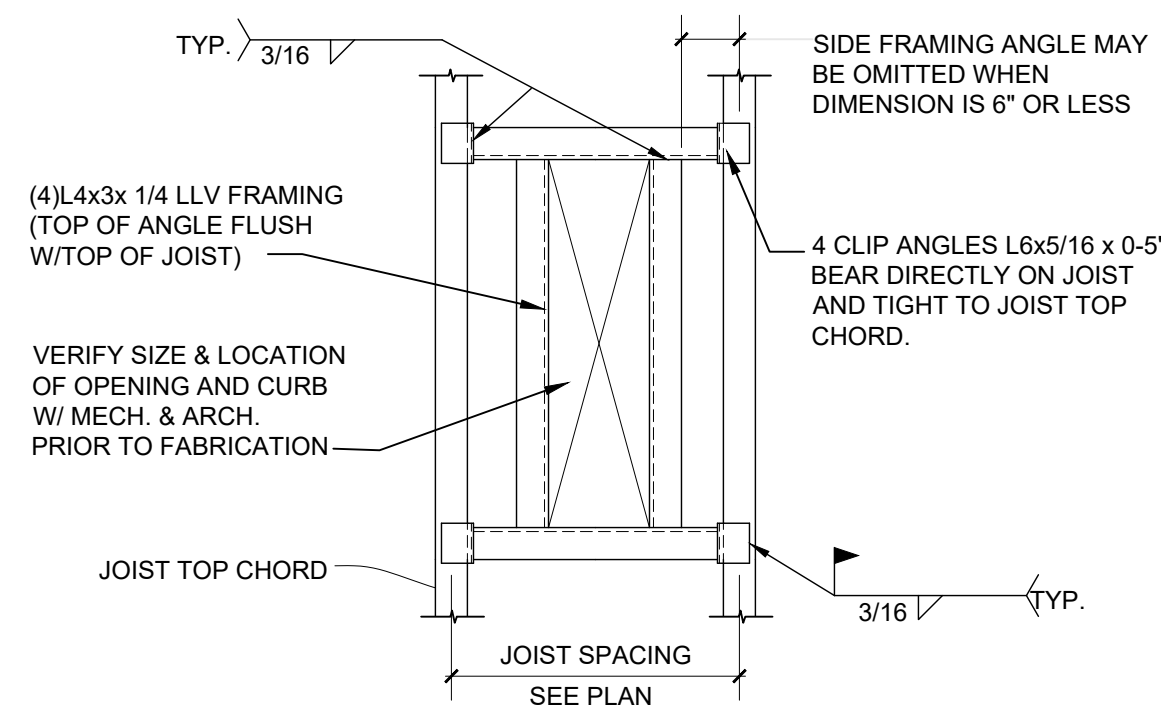
AD1.0

JOB NO. 242053



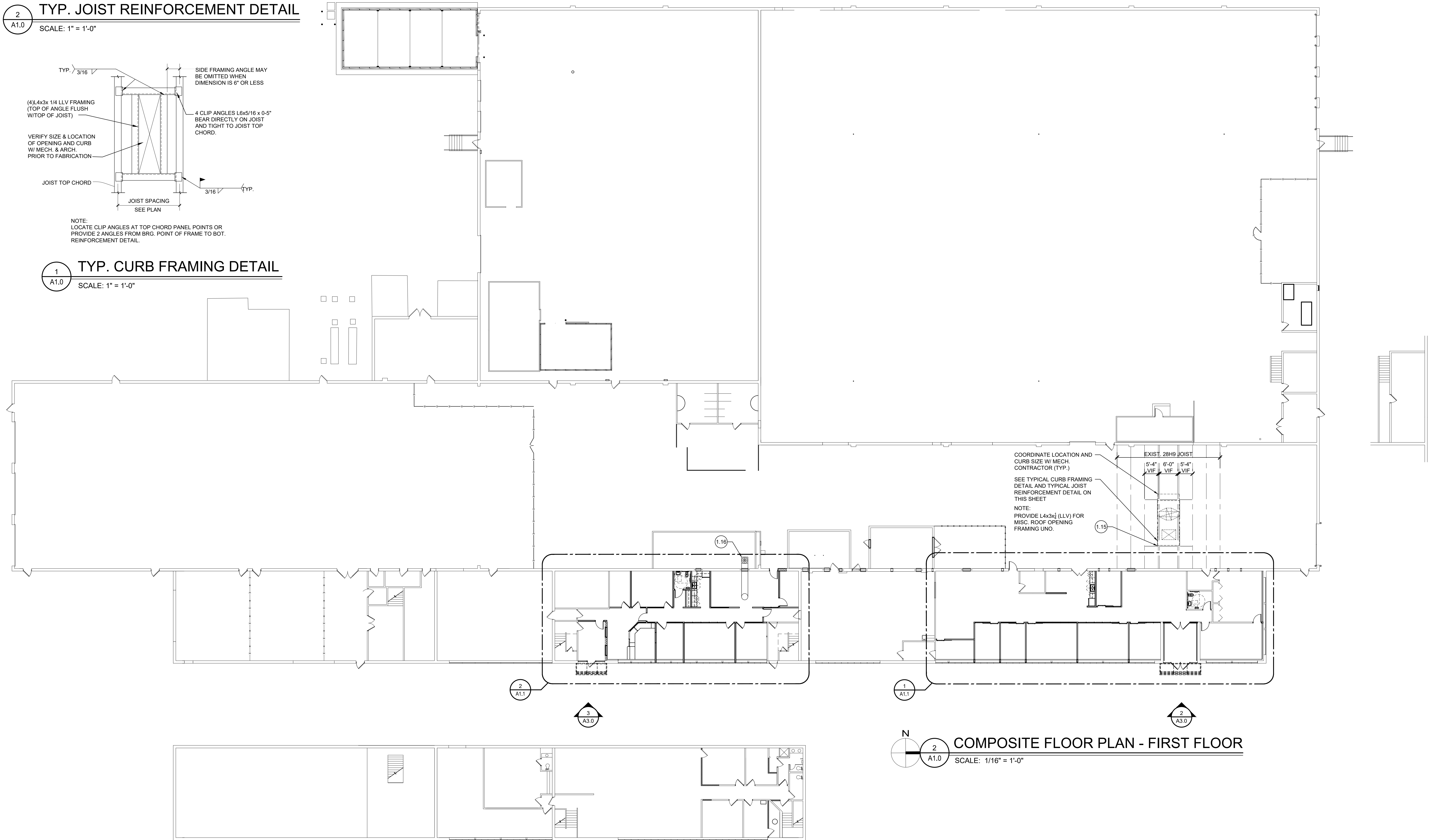
- NOTE:
1. ALL ADDITIONAL SUPPLEMENTAL STRUT MUST BE INSTALLED IN STEEL JOISTS AT ALL CONCENTRATED LOADS IN EXCESS OF 50 LBS. UNLESS THE LOAD ATTACHMENT IS AT A PANEL POINT OF THE JOISTS.
 2. AN ADDITIONAL STRUT IS NOT REQUIRED IF 'X' OR 'Y' IS LESS THAN OR EQUAL TO 6\".
 3. CONCENTRATED LOADS GREATER THAN 250 LBS, WHICH ARE NOT SPECIFIED ON THE PLANS, ARE NOT PERMITTED WITHOUT REVIEW BY THE PROFESSIONAL - OF - RECORD.

2
A1.0
TYP. JOIST REINFORCEMENT DETAIL
SCALE: 1" = 1'-0"



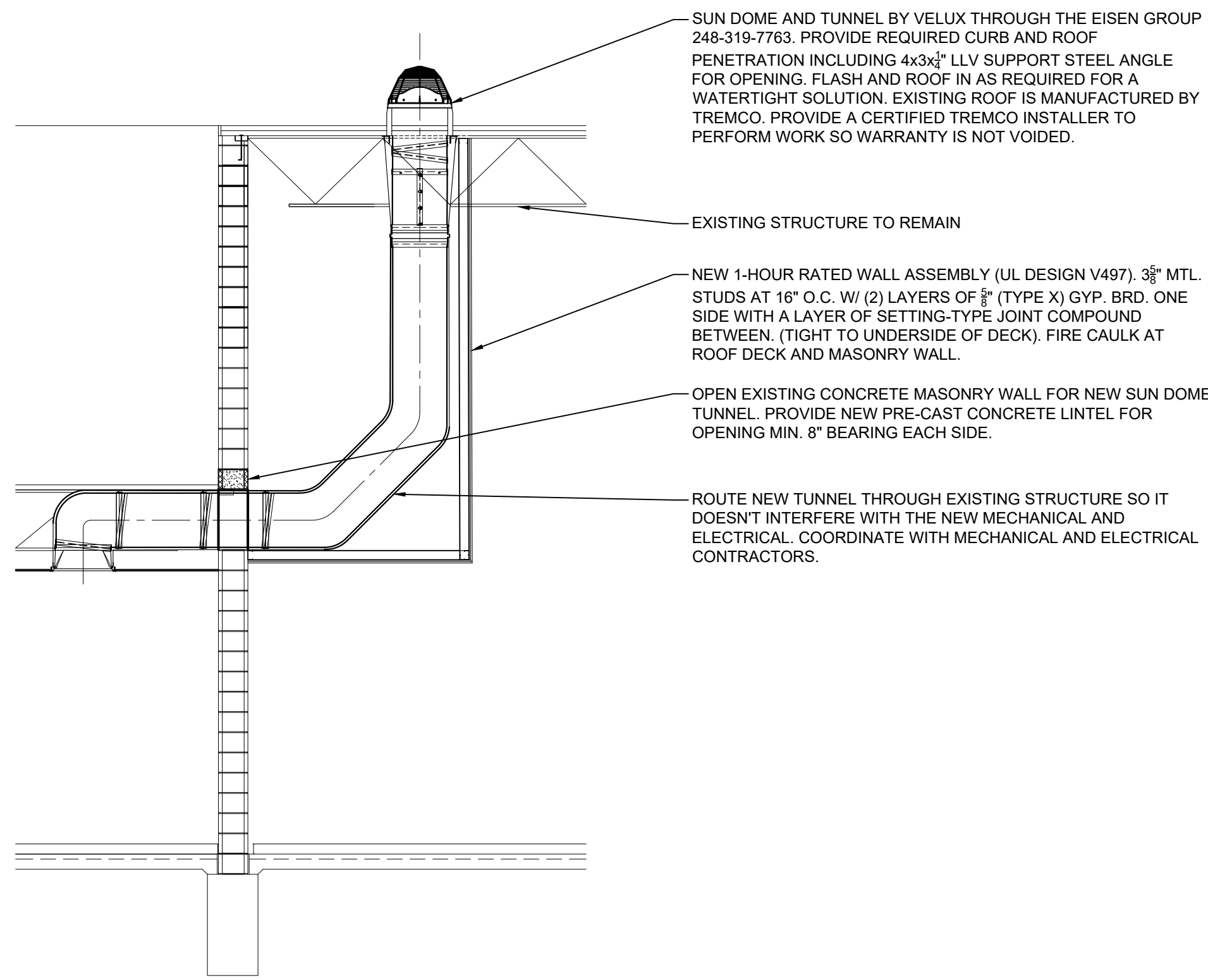
- NOTE:
LOCATE CLIP ANGLES AT TOP CHORD PANEL POINTS OR PROVIDE 2 ANGLES FROM BRG. POINT OF FRAME TO BOT. REINFORCEMENT DETAIL.

1
A1.0
TYP. CURB FRAMING DETAIL
SCALE: 1" = 1'-0"

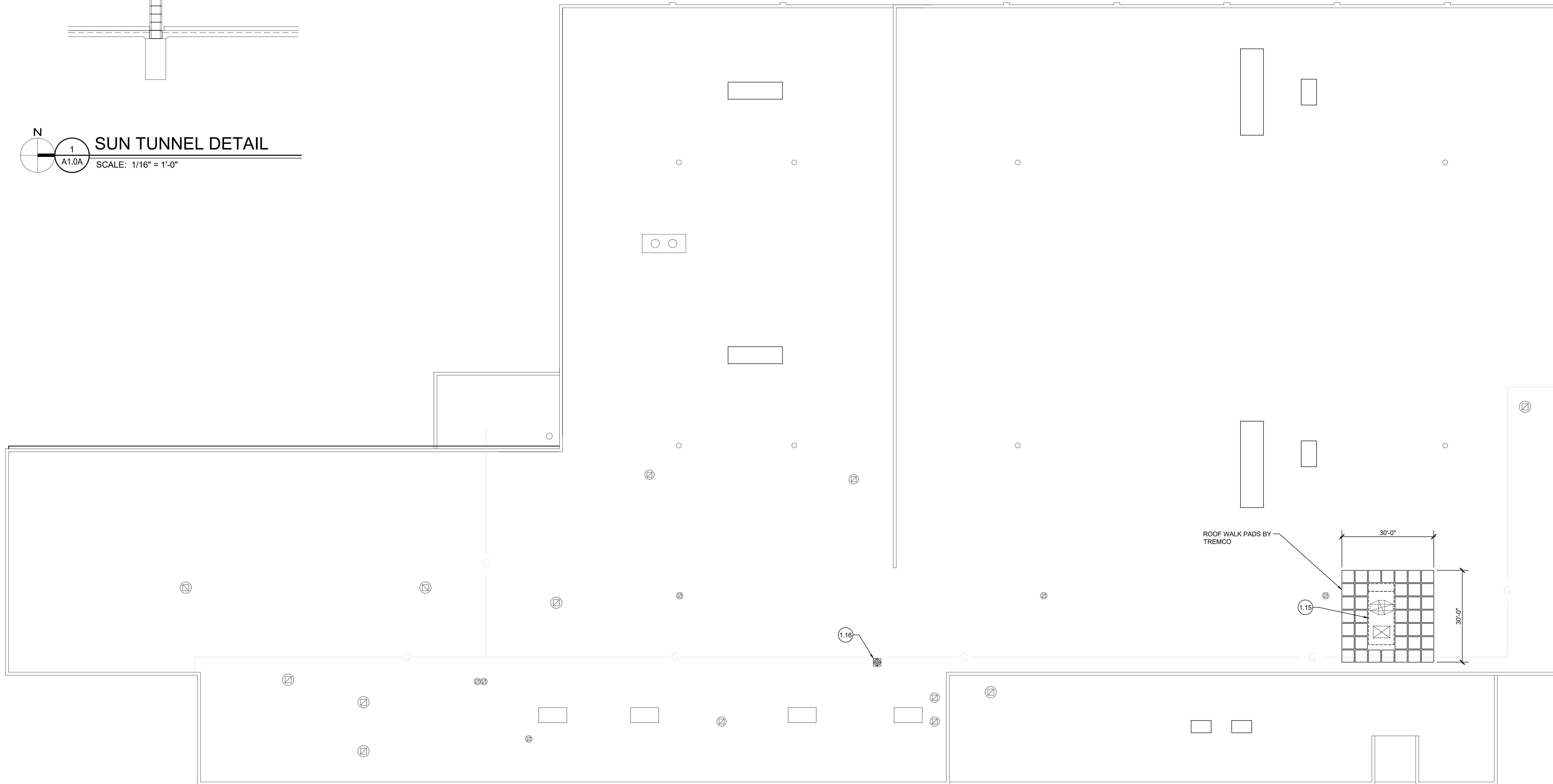


2
A1.0
COMPOSITE FLOOR PLAN - FIRST FLOOR
SCALE: 1/16" = 1'-0"

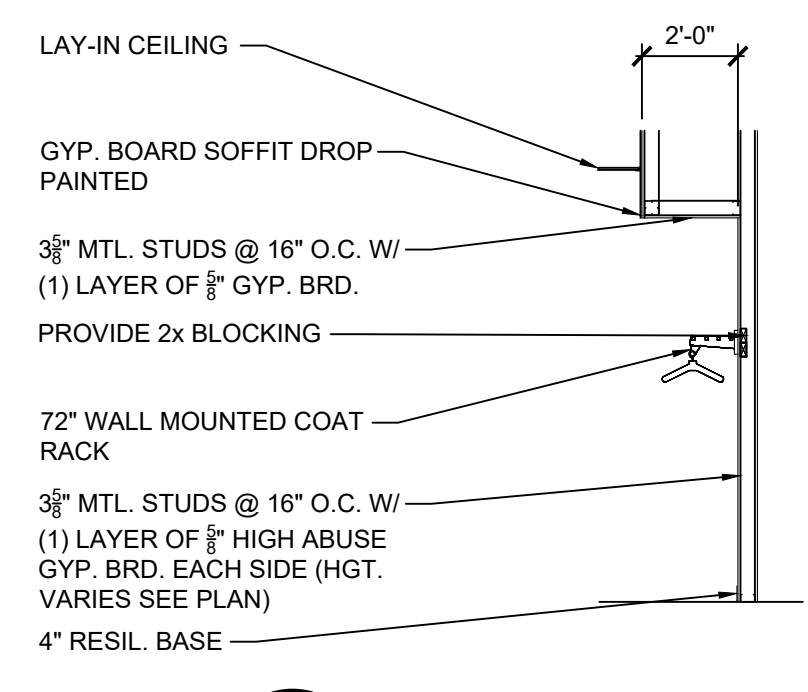
2
A1.0
COMPOSITE FLOOR PLAN - SECOND FLOOR
SCALE: 1/16" = 1'-0"



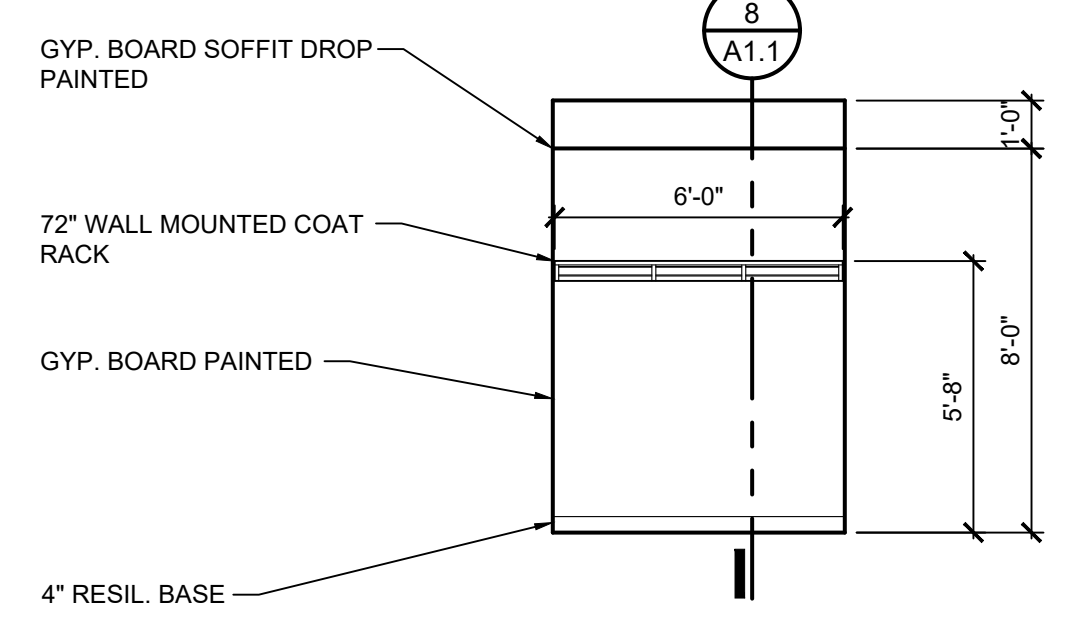
SUN TUNNEL DETAIL
SCALE: 1/16" = 1'-0"



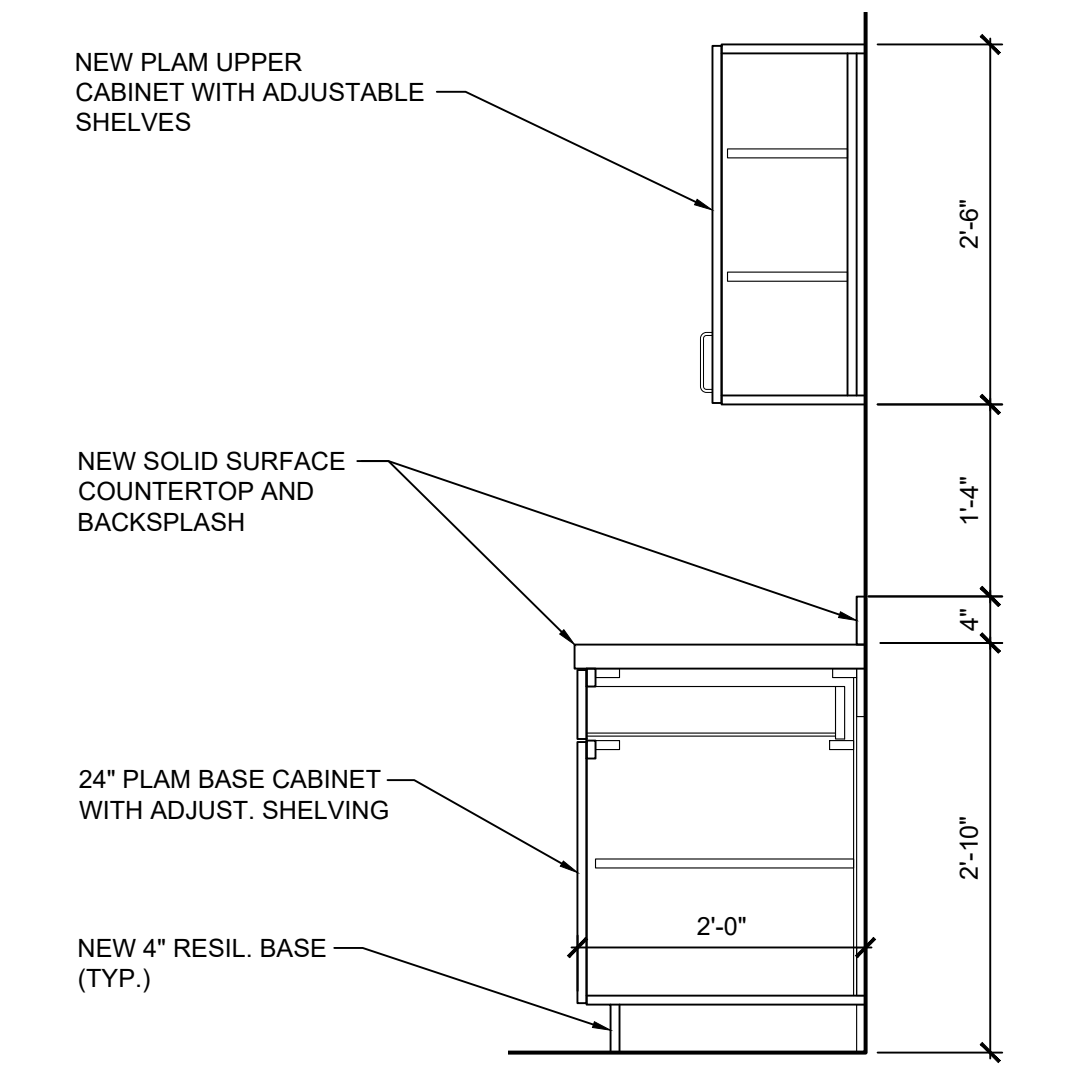
COMPOSITE ROOF PLAN
SCALE: 1/16" = 1'-0"



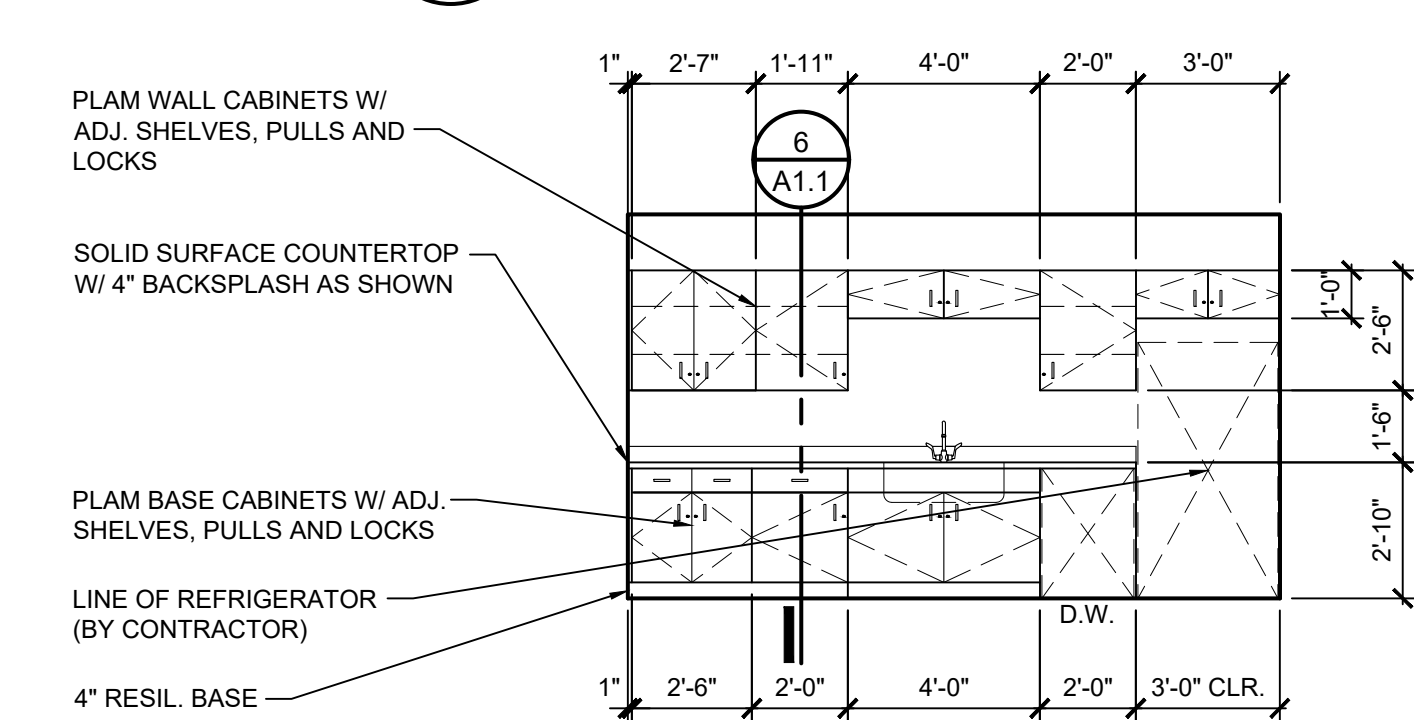
8 INTERIOR ELEVATION
A1.1 SCALE: 1/4" = 1'-0"



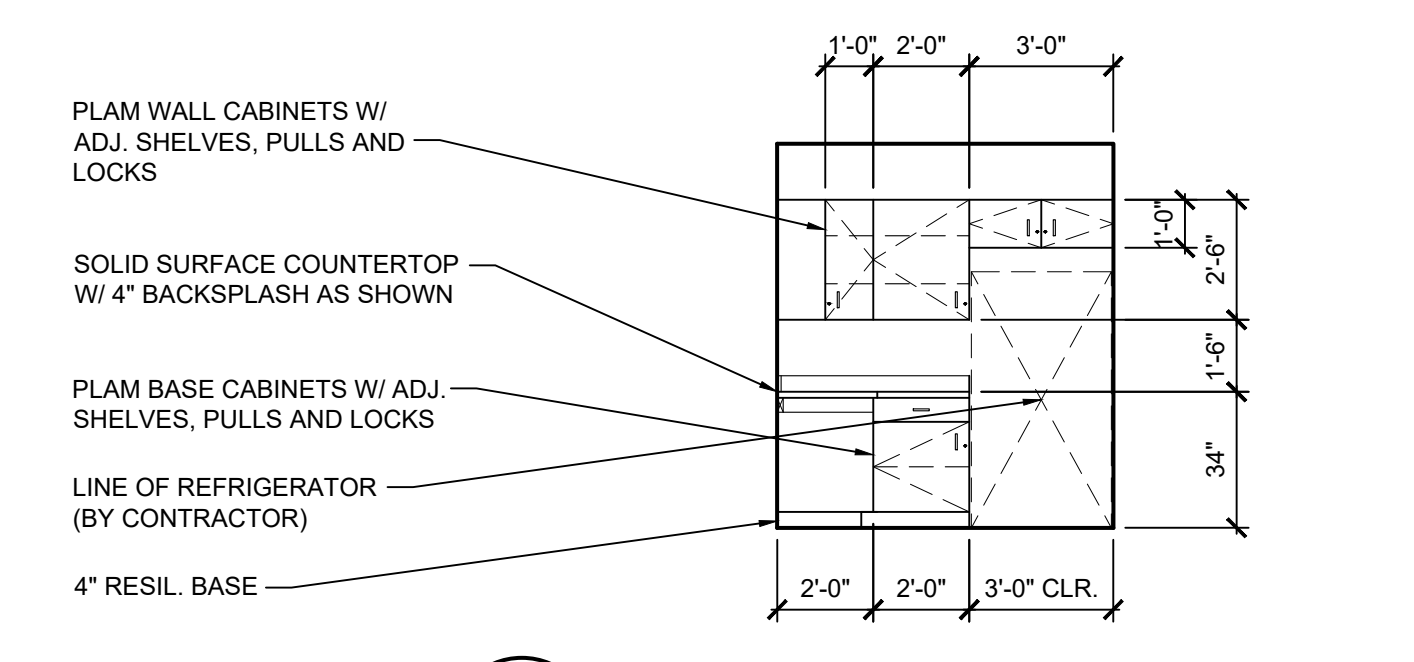
7 INTERIOR ELEVATION
A1.1 SCALE: 1/4" = 1'-0"



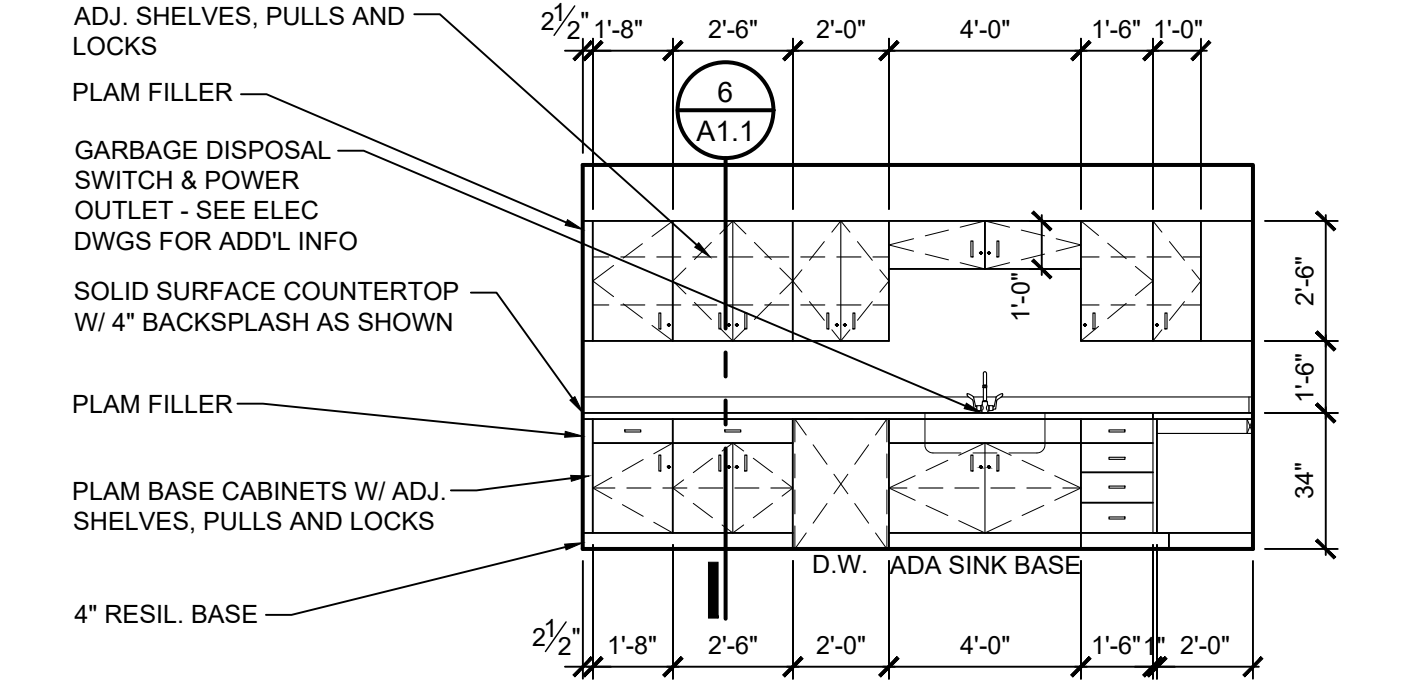
6 SECTION DETAIL
A1.1 SCALE: 3/4" = 1'-0"



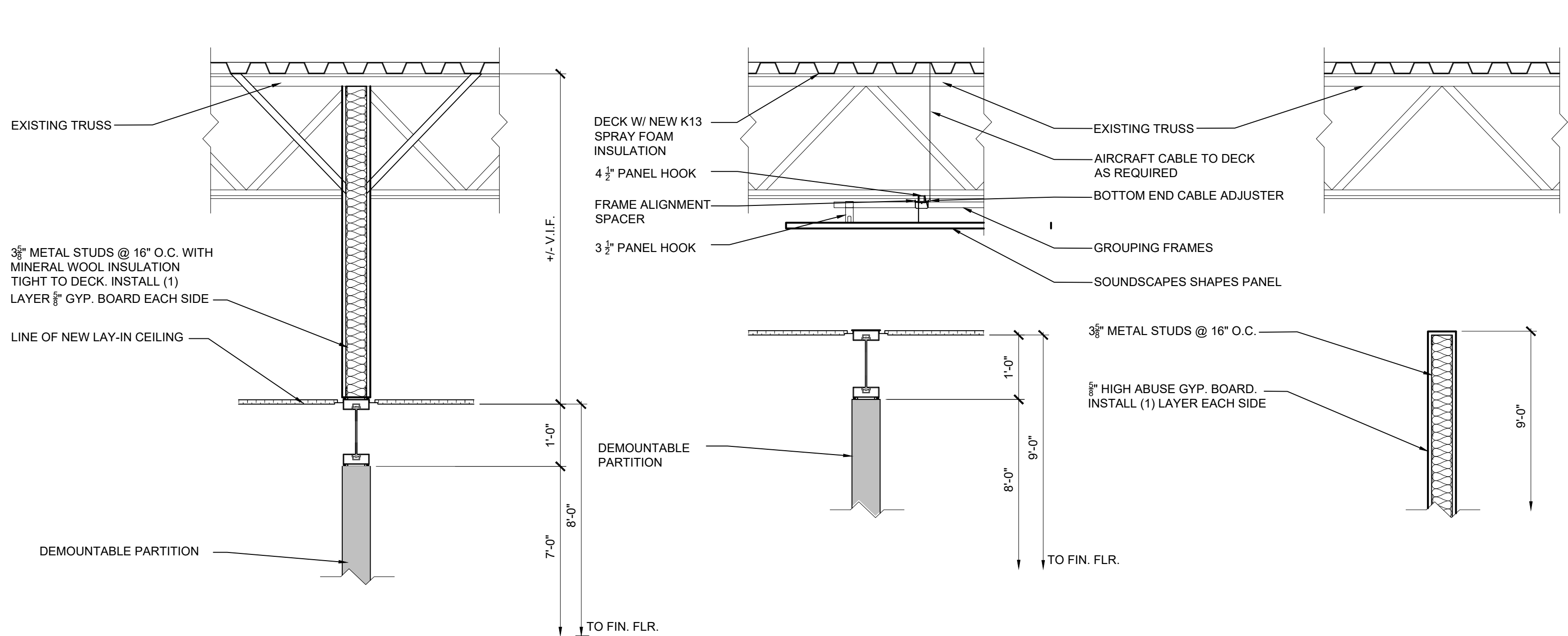
5 INTERIOR ELEVATION
A1.1 SCALE: 1/4" = 1'-0"



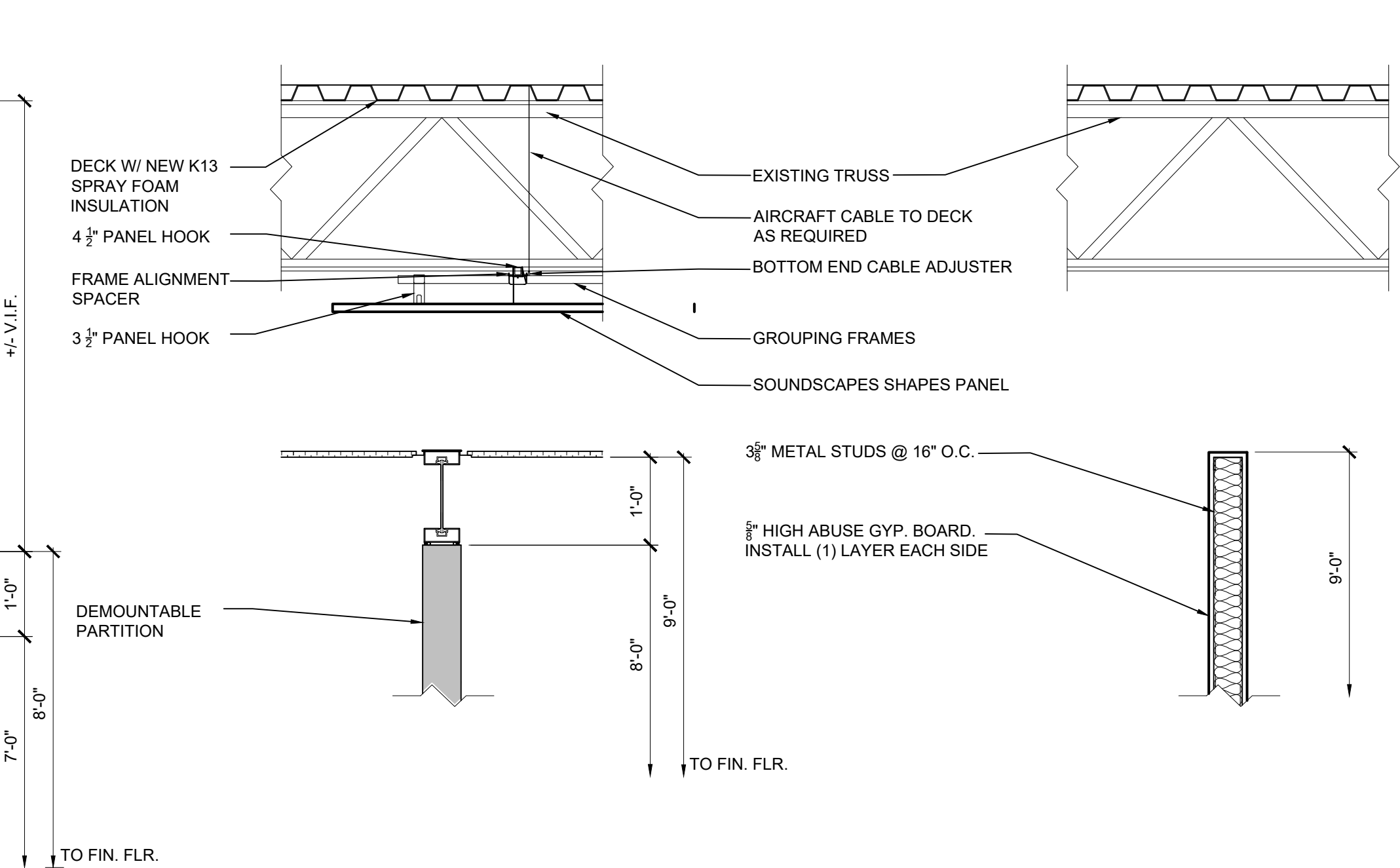
4 INTERIOR ELEVATION
A1.1 SCALE: 1/4" = 1'-0"



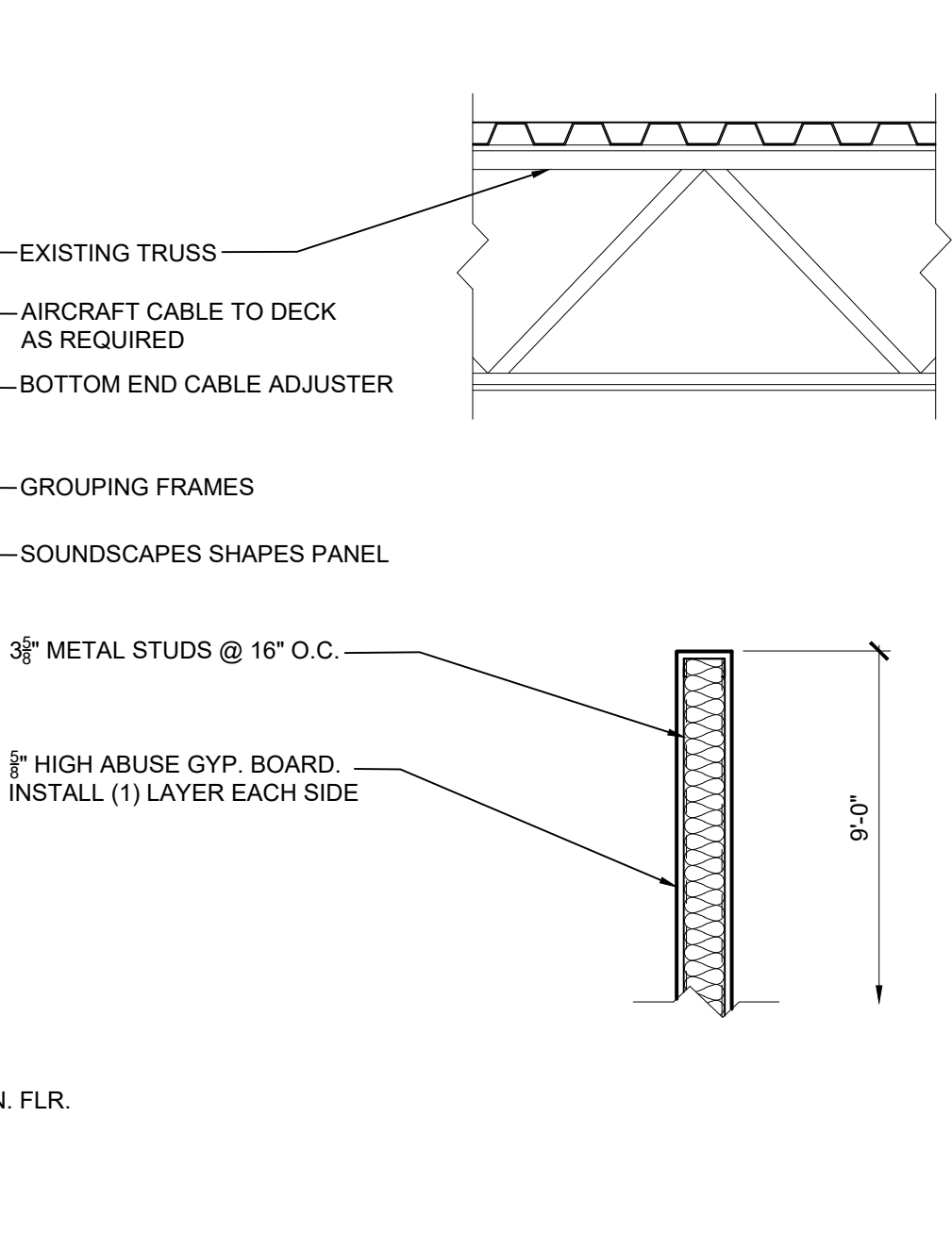
3 INTERIOR ELEVATION
A1.1 SCALE: 1/4" = 1'-0"



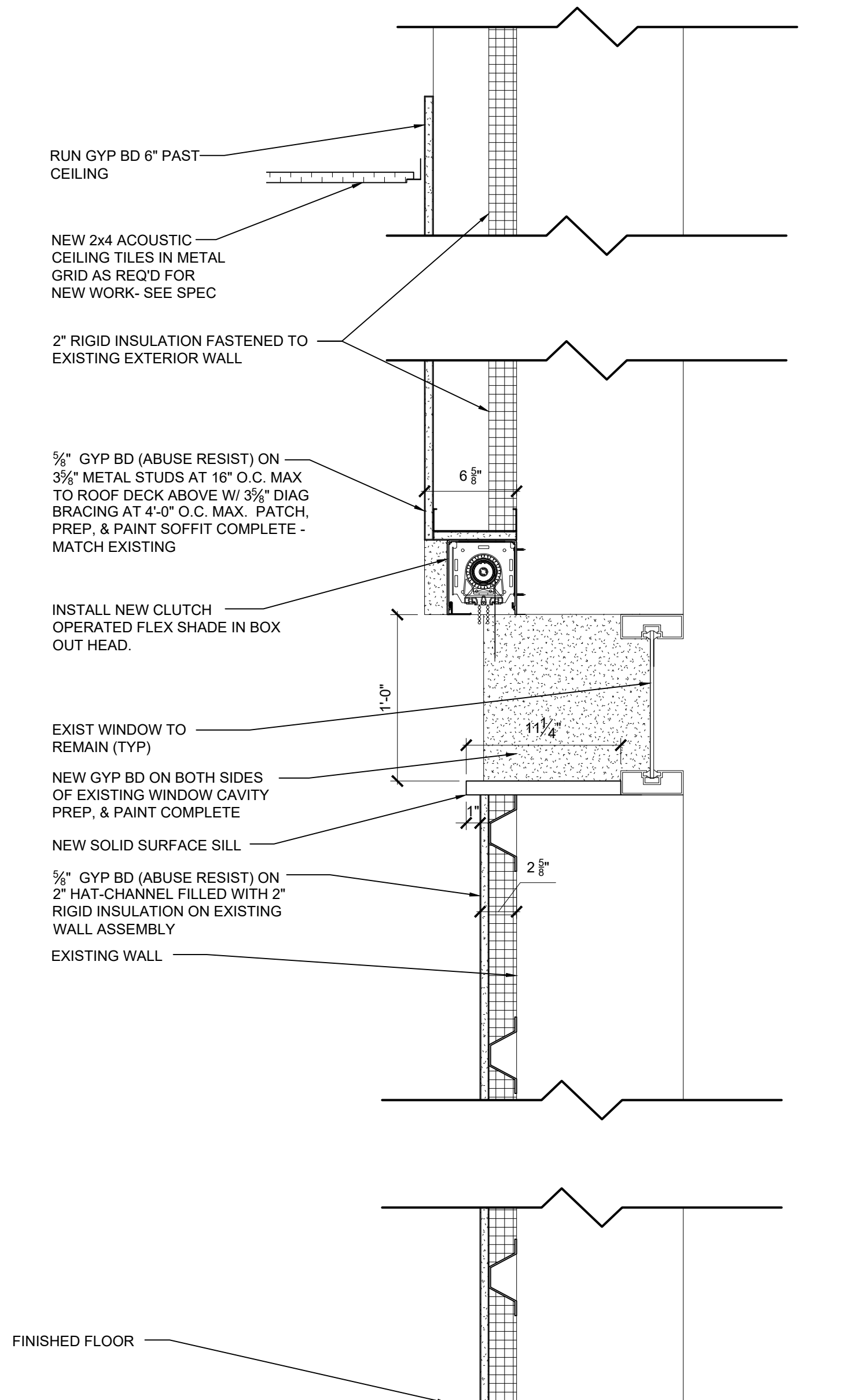
13 DEMOUNTABLE PARTITION SECTION (PURCHASING)
A1.1 SCALE: 3/4" = 1'-0"



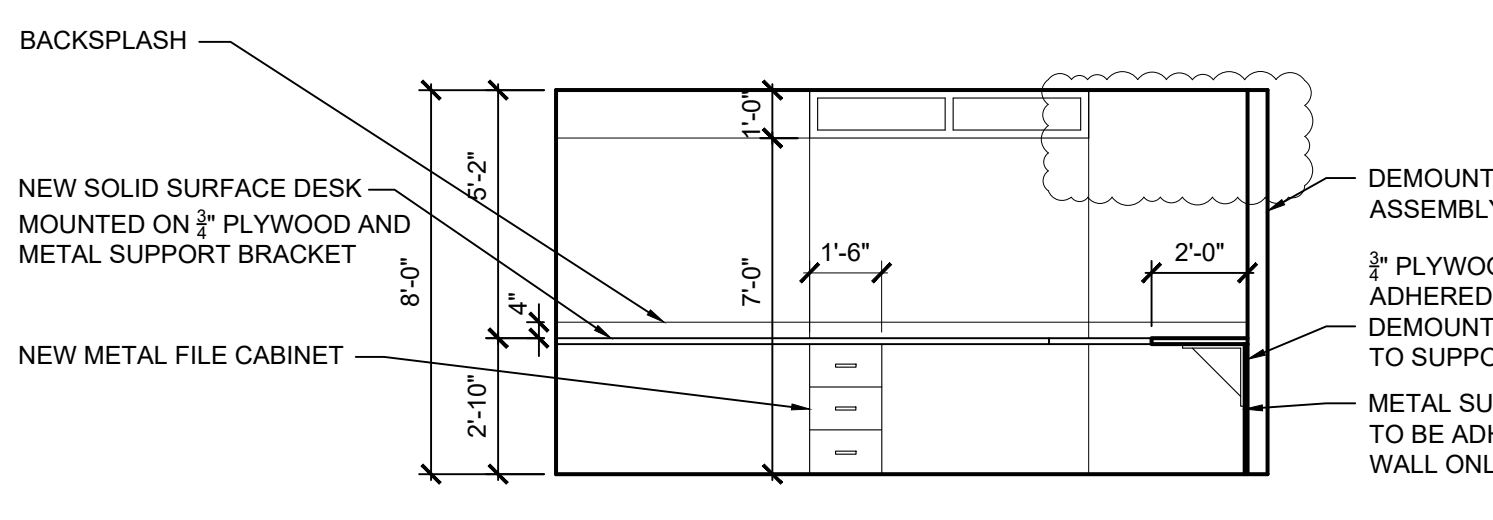
14 DEMOUNTABLE PARTITION SECTION (F&O)
A1.1 SCALE: 3/4" = 1'-0"



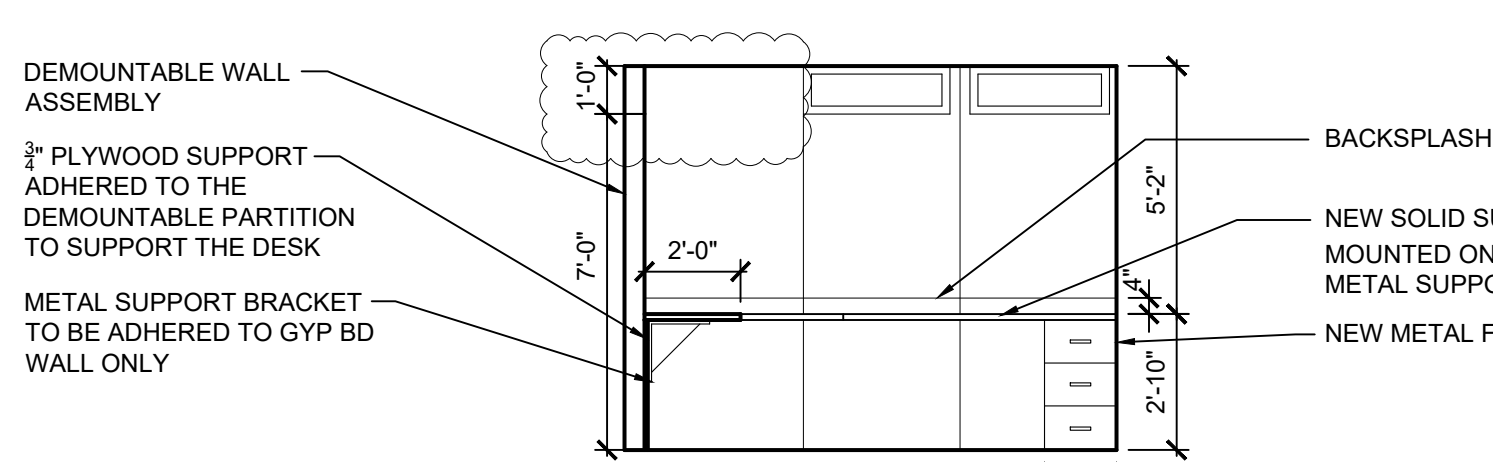
15 TYPICAL PARTITION SECTION
A1.1 SCALE: 3/4" = 1'-0"



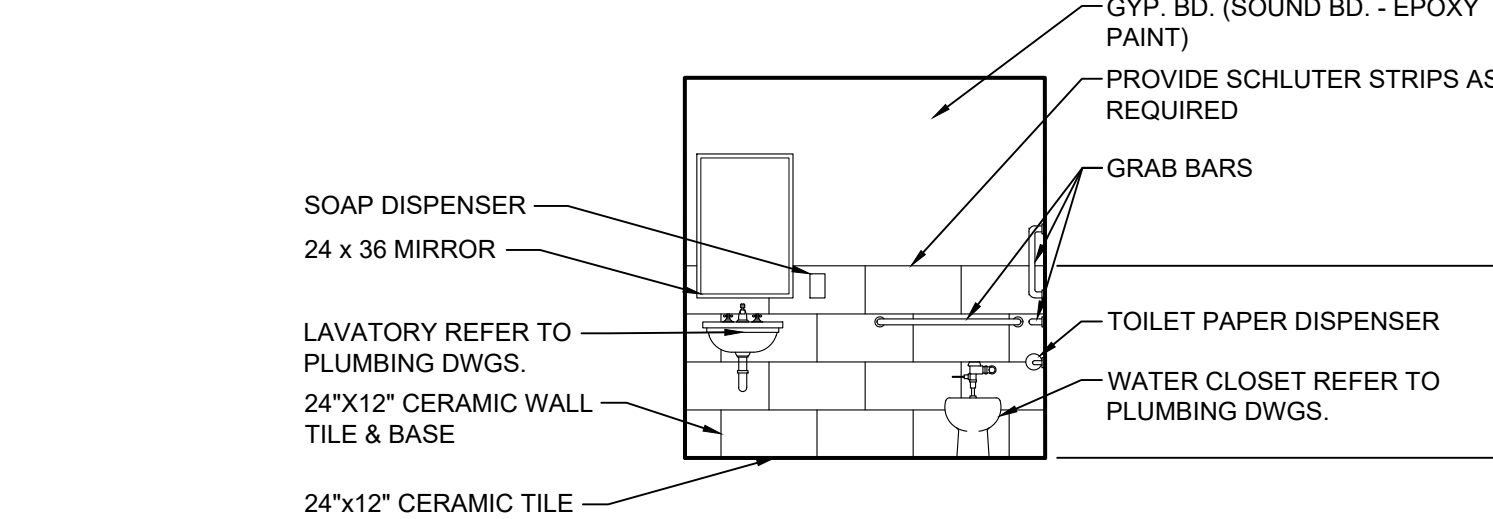
12 WINDOW HEAD DETAIL
A1.1 SCALE: 1 1/2" = 1'-0"



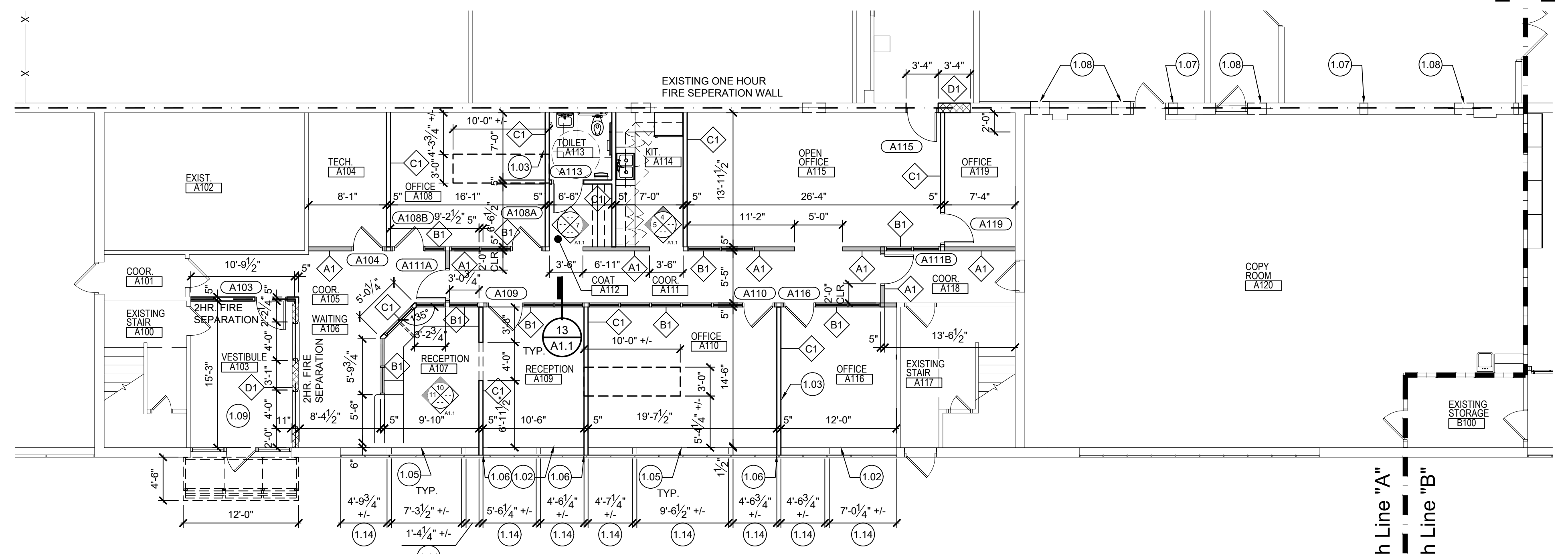
11 INTERIOR ELEVATION
A1.1 SCALE: 1/4" = 1'-0"



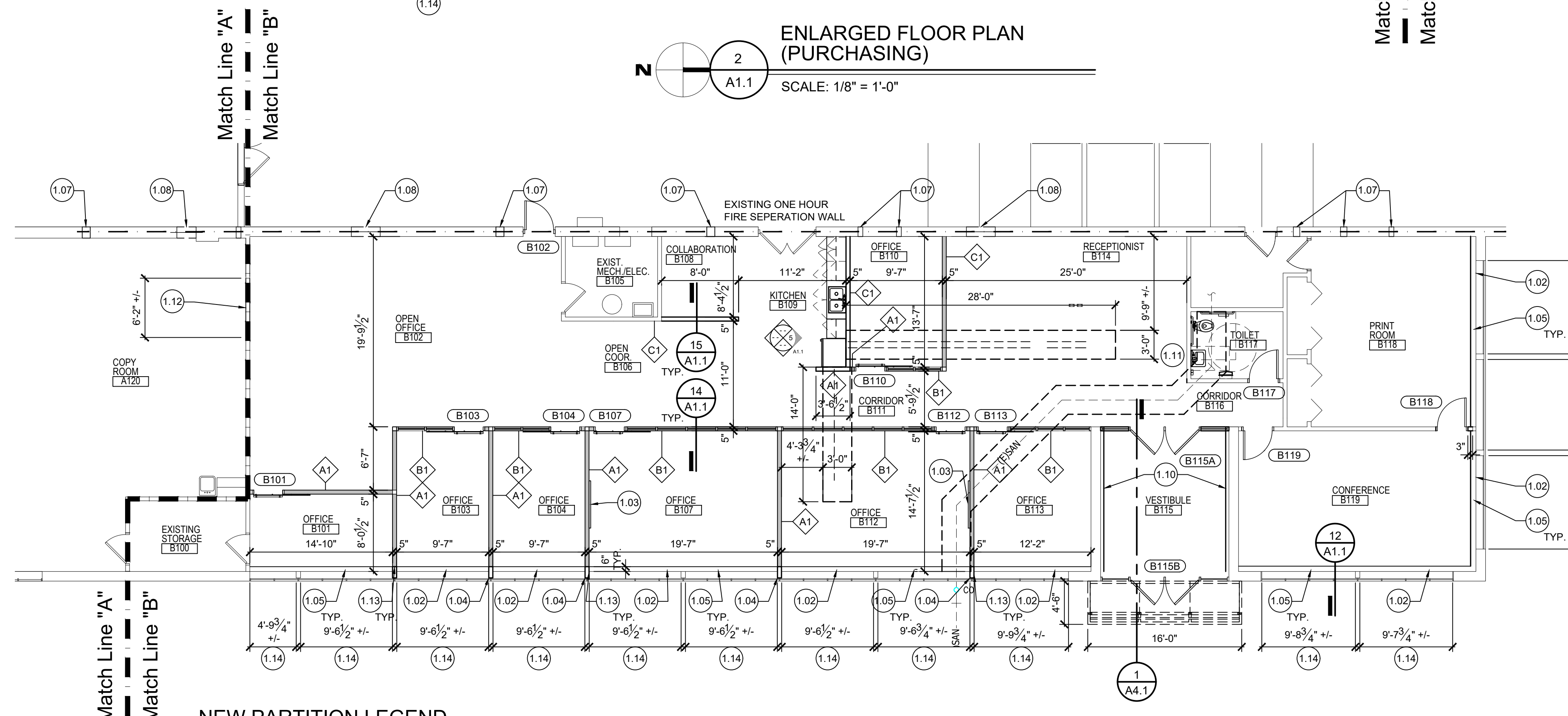
10 INTERIOR ELEVATION
A1.1 SCALE: 1/4" = 1'-0"



9 TYP. TOILET ROOM INTERIOR ELEVATION (A113 & B117)
A1.1 SCALE: 1/4" = 1'-0"



2 ENLARGED FLOOR PLAN (PURCHASING)
A1.1 SCALE: 1/8" = 1'-0"



1 ENLARGED FLOOR PLAN (F & O)
A1.1 SCALE: 1/8" = 1'-0"

NEW PARTITION LEGEND

- NOTES:
- ALL METAL STUD PARTITIONS IN OPEN AREA SHALL BE AT 9'-0" UNLESS OTHERWISE NOTED. DRYWALL AND FINISH ALL TOPS OF EXPOSED WALLS.
 - ALL METAL STUD PARTITIONS IN NON-OPEN AREAS SHALL BE TIGHT TO THE UNDERSIDE OF THE EXISTING DECK. STUFF OPEN FLUTES IN MINERAL WOOL INSULATION AND FIRE CAULK ALL PENETRATIONS.
 - DEMOUNTABLE PARTITIONS TO BE AT 9'-0" IN FACILITIES AND OPERATIONS; 8'-0" IN PURCHASING.
- ◊ DEMOUNTABLE PARTITION
 - ◻ DEMOUNTABLE PARTITION WITH 12" CLEARSTORY GLAZING (9'-0" F&O, 8'-0" PURCHASING)
 - ◻ 3/8" MTL. STUDS @ 16" O.C. W/ (1) LAYER OF 1/2" HIGH ABUSE GYP. BRD. EACH SIDE (HGT. VARIES SEE PLAN) PROVIDE SOUND INSULATION FULL HGT.
 - ◻ 12" CMU WITH HORIZONTAL REINFORCEMENT @ 16" O.C. DOVEL INTO EXISTING CONC. SLAB W/ #6 DOVEL (MIN 4" EMBED) (TIGHT TO UNDERSIDE OF DECK) STUFF OPEN DECK FLUTES WITH MINERAL WOOL AND FIRE SPRAY. FIRE CAULK ALL PENETRATIONS.

NEW WORK KEYNOTES:

SEE SHEET G3.0 FOR ALL KEYNOTES.

GENERAL TOILET ROOM NOTES

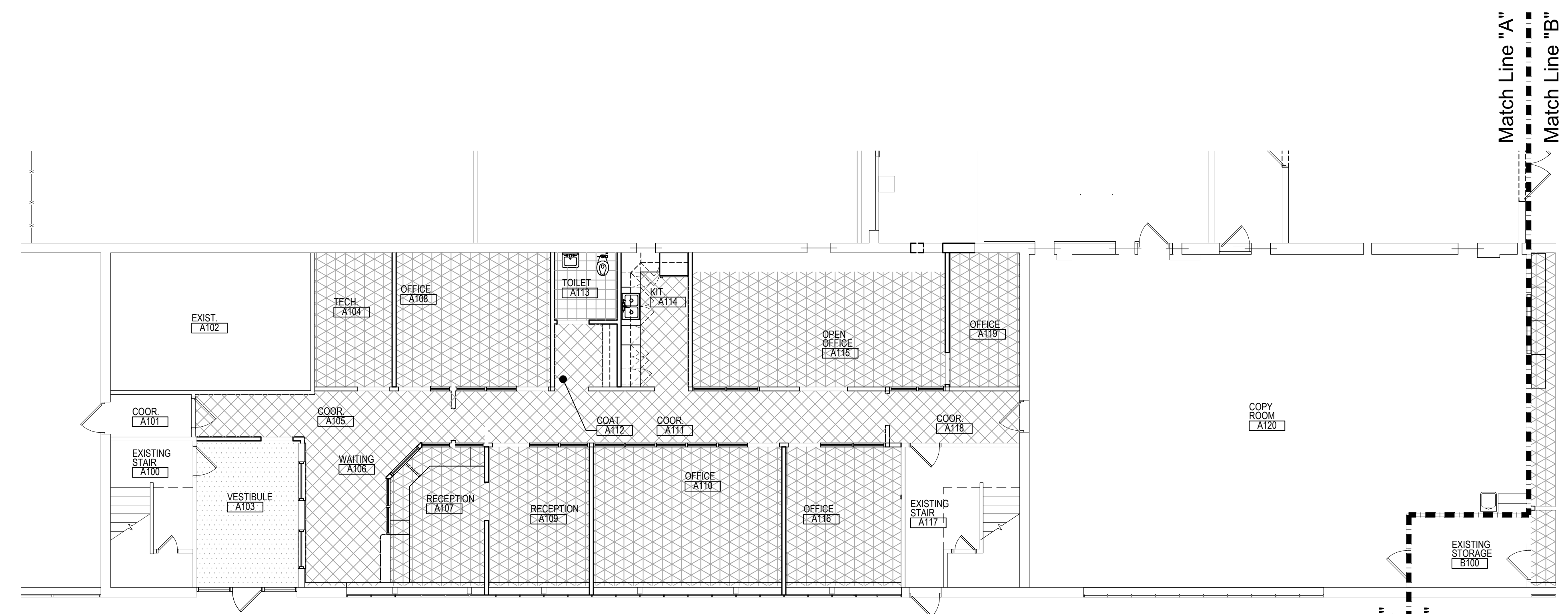
- ALL WALLS TO BE PAINTED WITH EPOXY PAINT IN ALL TOILET ROOMS.
- PROVIDE NEW FLOOR TRANSITIONS BETWEEN ALL DISSIMILAR MATERIALS. REFER TO SPECIFICATIONS.
- PROVIDE ALL NEW TOILET ROOM ACCESSORIES AS SHOWN ON PLAN AND IN THE ACCESSORIES LEGEND.

NEW WORK KEYNOTES:

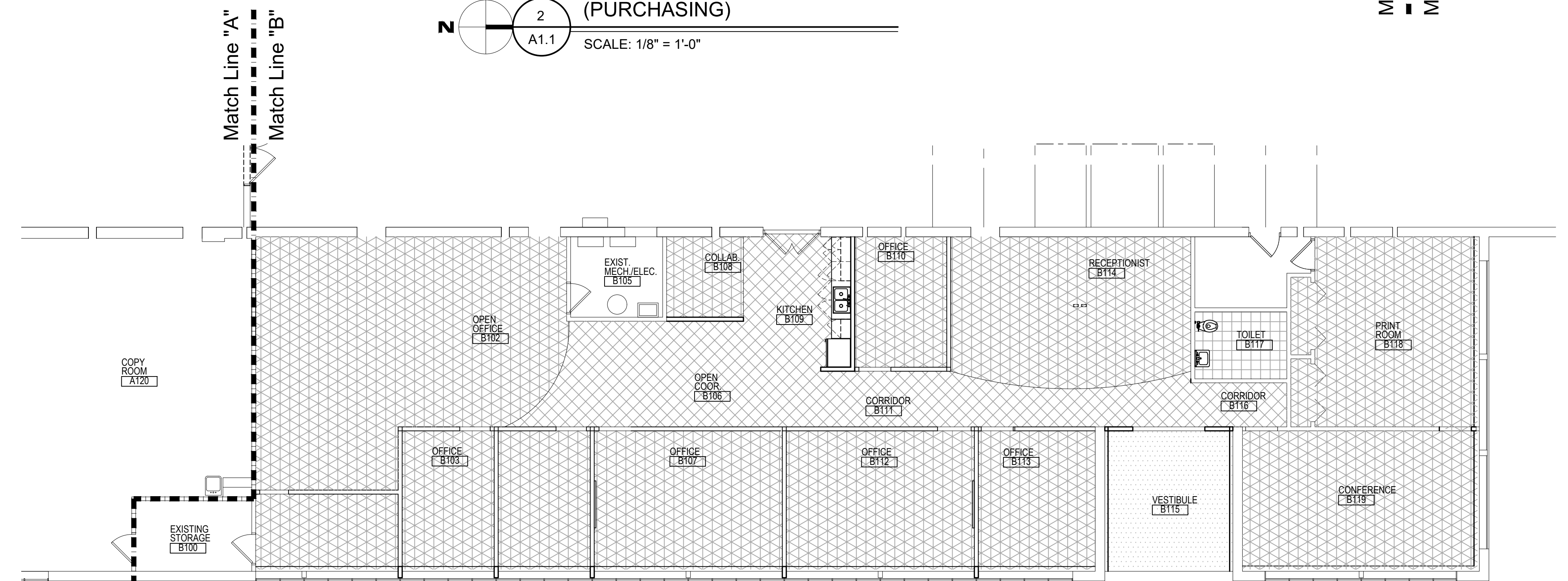
SEE SHEET G3.0 FOR ALL KEYNOTES.

FLOORING LEGEND

HATCH	DESCRIPTION
	NEW LVT
	NEW CARPET
	NEW CERAMIC TILE
	WALK-OFF CARPET



**ENLARGED FLOOR FINISH PLAN
(PURCHASING)**
SCALE: 1/8" = 1'-0"



**ENLARGED FLOOR FINISH PLAN
(F & O)**
SCALE: 1/8" = 1'-0"

**MACOMB COUNTY
F & O / PURCHASING OFFICE RENOVATION
VIC WERTZ BUILDING**

FLOOR FINISH PLAN

- PRELIMINARY
- DESIGN DEVELOPMENT
- CONSTRUCTION
- FINAL RECORD

DRAWN BY: DC/WNL
CHECKED BY: RS/DCW

REVISIONS
ADDENDUM No. 1 11-7-2024
ADDENDUM No. 2 11-11-2024

DATE: OCTOBER 31, 2024

SHEET NO.

A1.2

JOB NO.
242053

MACOMB COUNTY
F & O / PURCHASING OFFICE RENOVATION
VIC WERTZ BUILDING

FURNITURE PLAN LAYOUT

PRELIMINARY
DESIGN DEVELOPMENT
CONSTRUCTION
FINAL RECORD

DRAWN BY: DC/WNL
CHECKED BY: RS/DCW

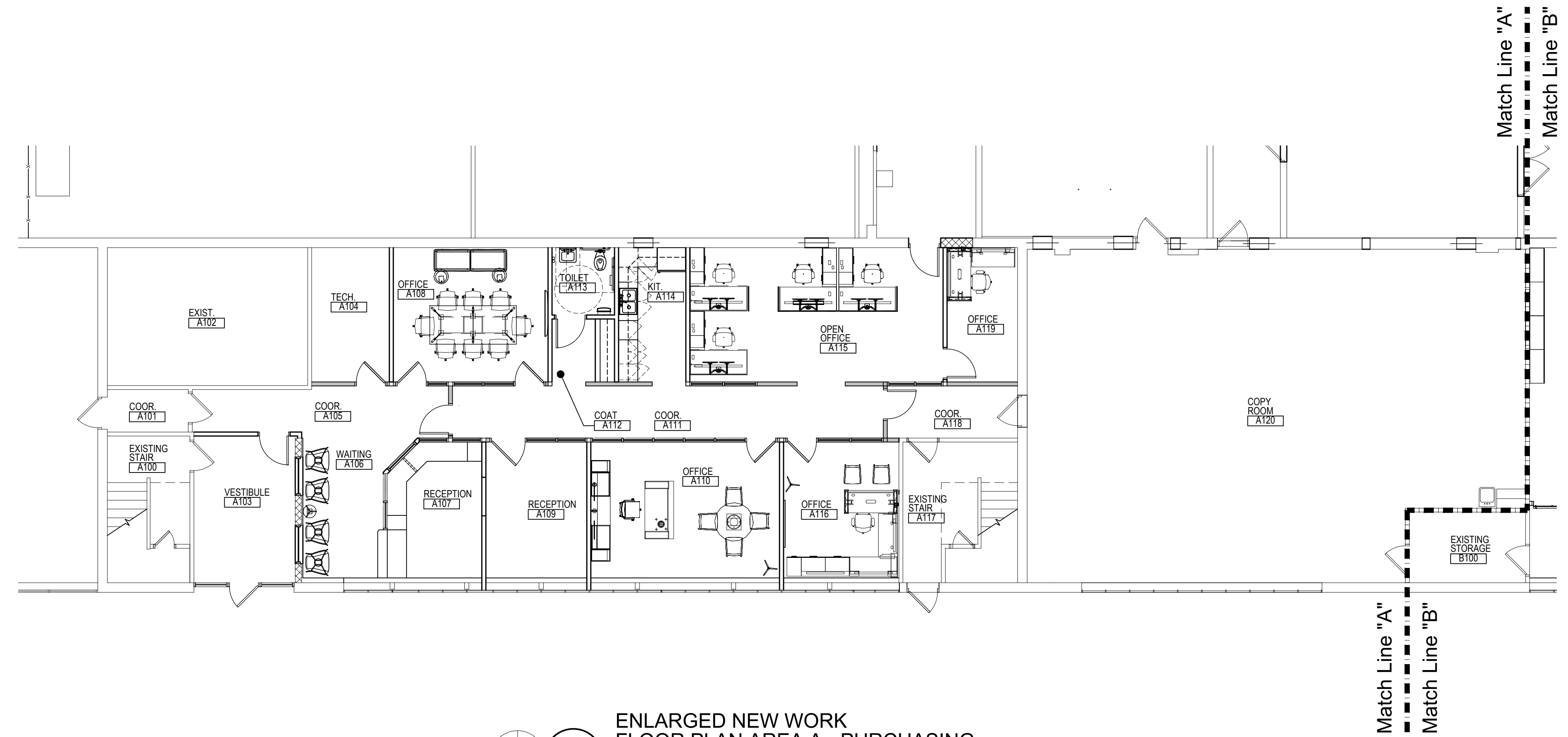
REVISIONS
ADDENDUM No. 1 11-7-2024
ADDENDUM No. 2 11-11-2024

DATE: OCTOBER 31, 2024

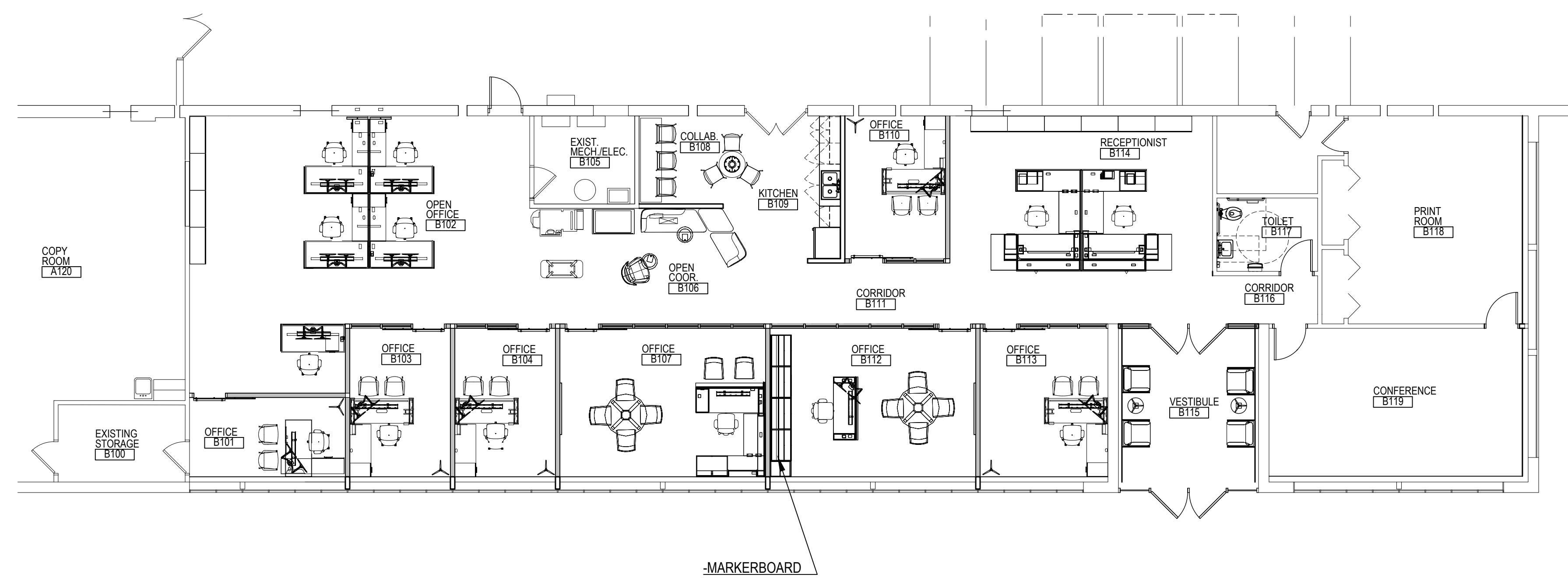
SHEET NO.

A1.3

JOB NO.
242053



1
A1.1
ENLARGED NEW WORK
FLOOR PLAN AREA A - PURCHASING
SCALE: 1/8" = 1'-0"



2
A1.1
ENLARGED NEW WORK FLOOR PLAN -
AREA B FACILITIES & OPERATIONS
SCALE: 1/8" = 1'-0"


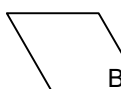
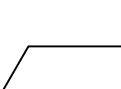

NEW WORK KEYNOTES:

SEE SHEET G3.0 FOR ALL KEYNOTES.

REFLECTED CEILING PLAN KEYNOTES:

- 1 NEW 24" x 24" ACOUSTICAL CEILING GRID AND TILE. REFER TO SPECS.
- 2 NEW WOOD AND WOOD LOOK CEILING BY ARMSTRONG. SUSPENDED FROM EXISTING STRUCTURE.
- 3 SOUNDSCAPES-SHAPES DESIGN CEILING BY ARMSTRONG. FASTENED TO TO UNDER SIDE OF JOIST. IF HANG POINTS SECURED TO UNDER SIDE OF THE DECK ARE DEEMED NECESSARY. COORDINATE LOCATION AND INSTALLATION WITH APPLICATION OF K13 (USE "GROUPING FRAME SYSTEM FOR AS REQUIRED FOR LARGE CLOUDS")

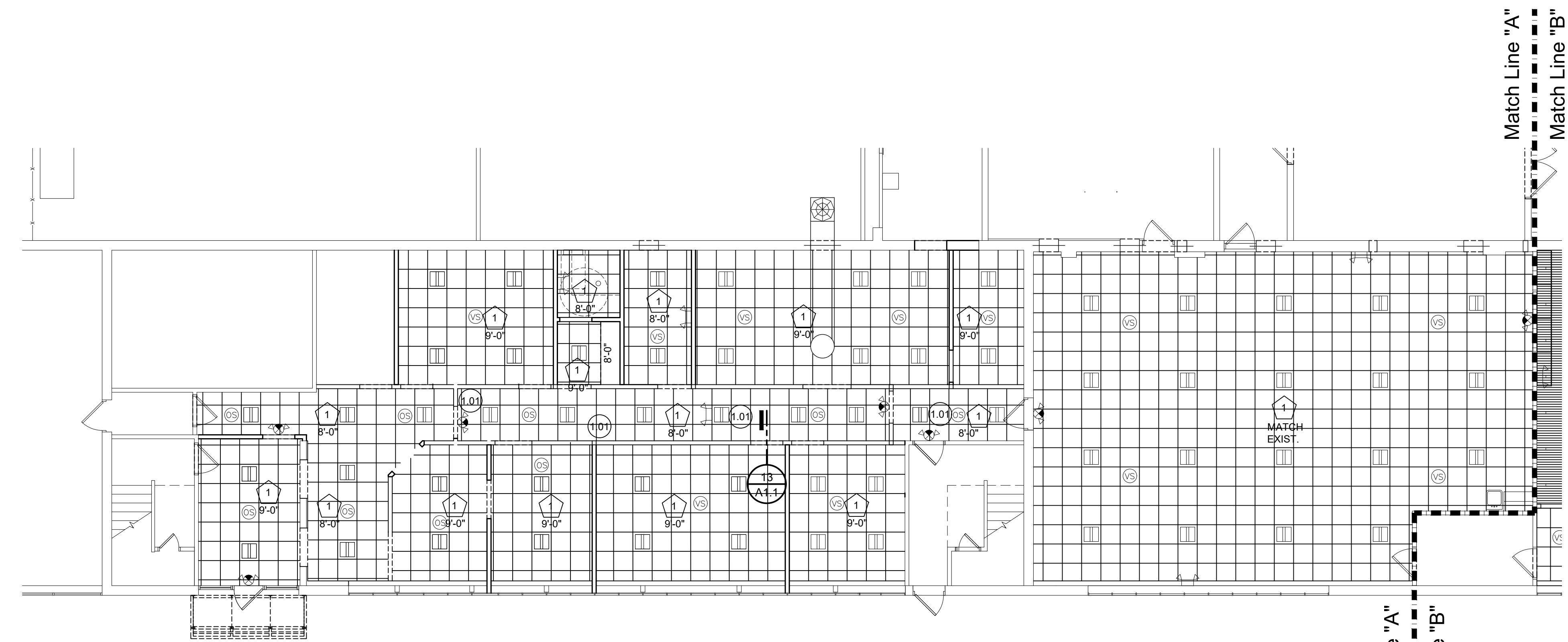
REFLECTED CEILING LEGEND:

-  SOUNDSCAPES-SHAPES DESIGN CEILING - 60 DEGREE TRIANGLE
-  SOUNDSCAPES-SHAPES DESIGN CEILING - 60 DEGREE PARALLELOGRAM
-  SOUNDSCAPES-SHAPES DESIGN CEILING - 60 DEGREE TRAPAZOID
-  SOUNDSCAPES-SHAPES DESIGN CEILING PANEL GROUPED WITH GROUPING FRAME ASSEMBLY

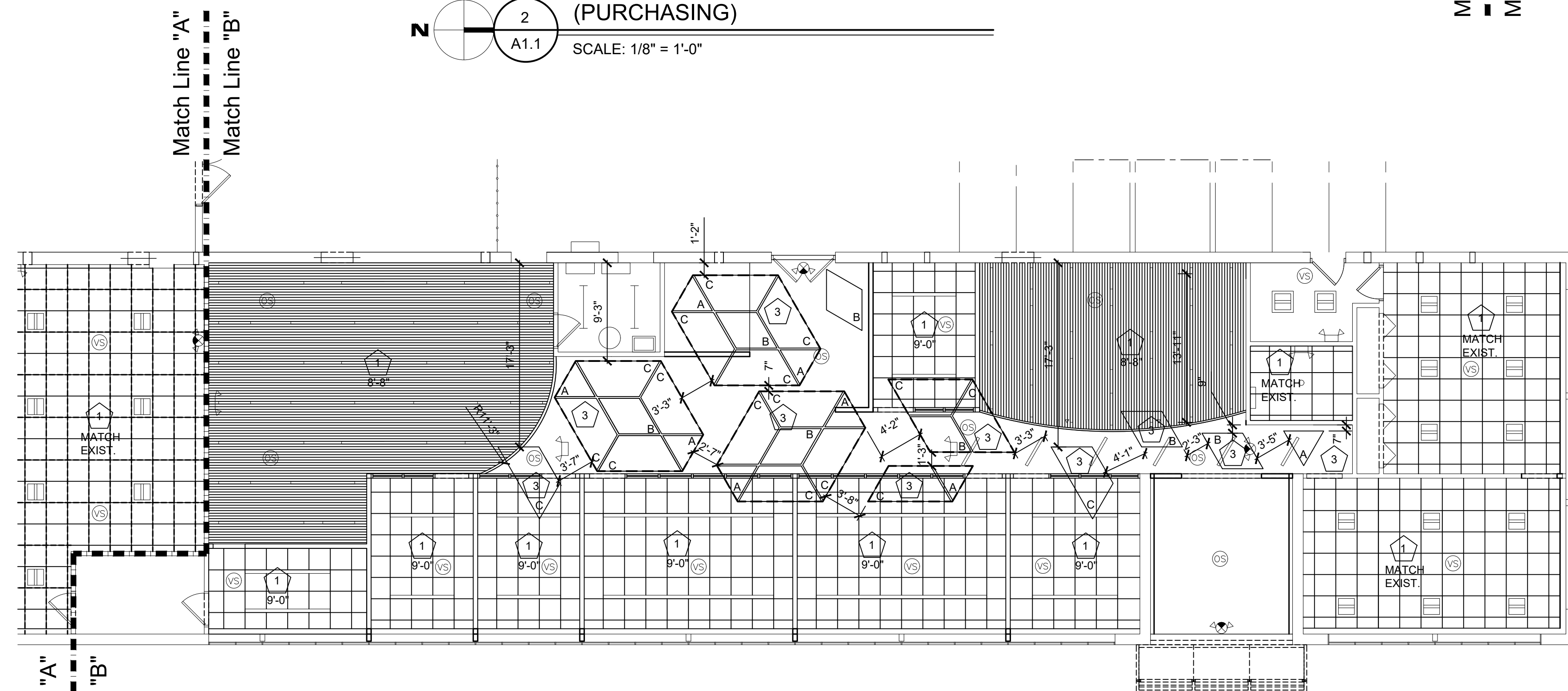


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www.WakelyAIA.com



ENLARGED REFLECTED CEILING PLAN (PURCHASING)
SCALE: 1/8" = 1'-0"



ENLARGED REFLECTED CEILING PLAN (F & O)
SCALE: 1/8" = 1'-0"

NOTES:

- 1. IN ALL OPEN AREAS, PAINT ALL EXPOSED DECK WITH K13 INSULATION, PAINT STRUCTURE, DUCTWORK, AND CONDUIT ETC. COMPLETE FOR A FINISHED PRODUCT.

**MACOMB COUNTY
F & O / PURCHASING OFFICE RENOVATION
VIC WERTZ BUILDING**

REFLECTED CEILING PLAN

- PRELIMINARY
- DESIGN DEVELOPMENT
- CONSTRUCTION
- FINAL RECORD

DRAWN BY: DC/WNL
CHECKED BY: RS/DCW

REVISIONS
ADDENDUM No. 1 11-7-2024
ADDENDUM No. 2 11-11-2024

DATE: OCTOBER 31, 2024

SHEET NO.

A2.0

JOB NO. 242053

MACOMB COUNTY
F & O / PURCHASING OFFICE RENOVATION
VIC WERTZ BUILDING

EXTERIOR ELEVATIONS

- PRELIMINARY
- DESIGN DEVELOPMENT
- CONSTRUCTION
- FINAL RECORD

DRAWN BY: DC/WNL
CHECKED BY: RS/DCW

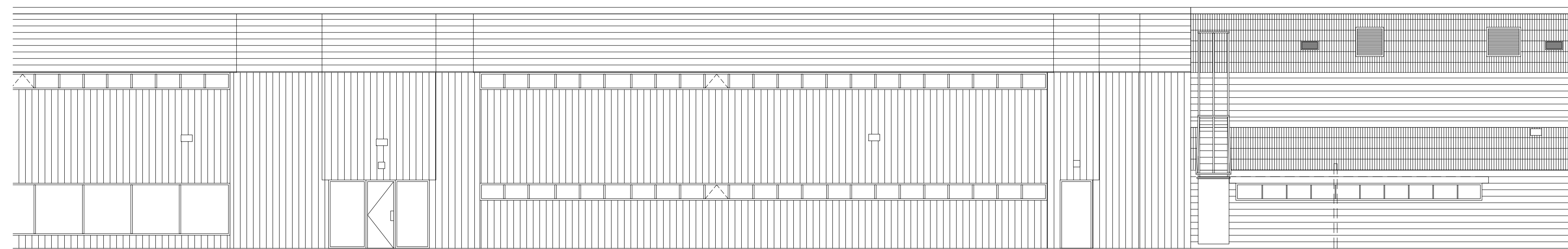
REVISIONS
ADDENDUM No. 1 11-7-2024
ADDENDUM No. 2 11-11-2024

DATE: OCTOBER 31, 2024

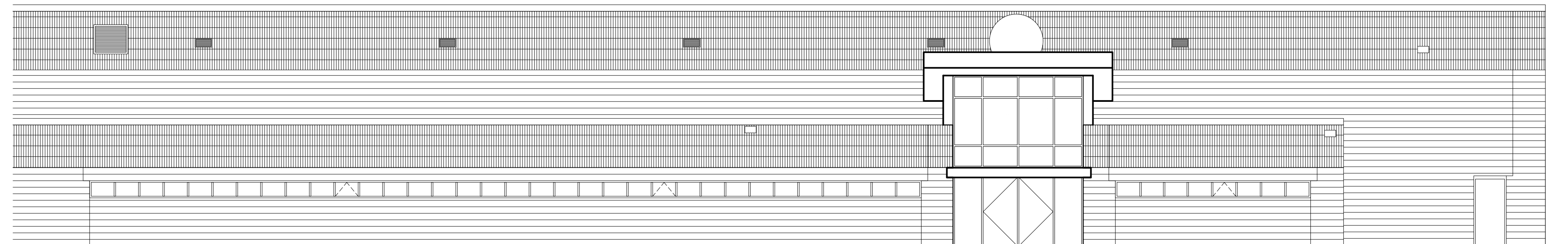
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A3.0

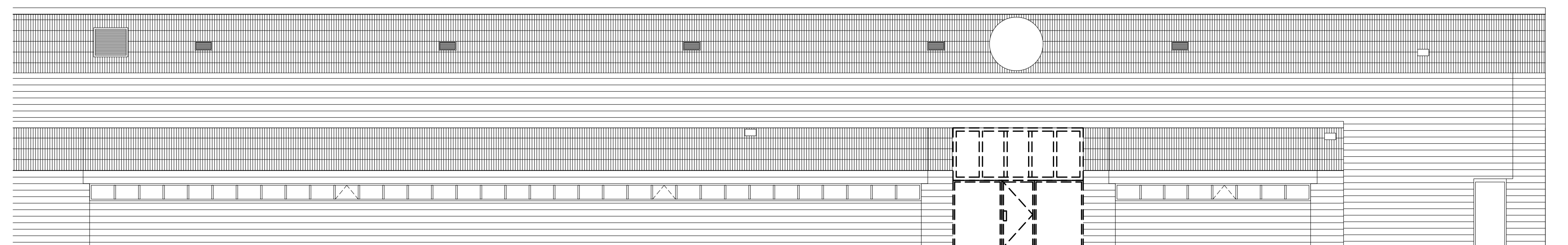
JOB NO.
242053



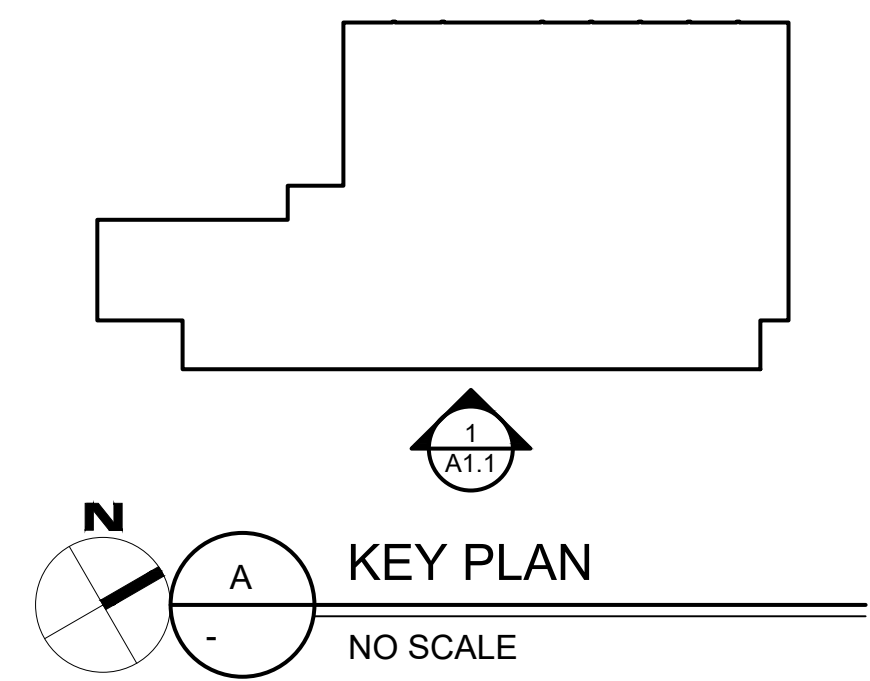
3
A3.0 PARTIAL EAST ELEVATION
(PURCHASING)
SCALE: 1/8" = 1'-0"



2
A3.0 PARTIAL EAST ELEVATION
(F&O)
SCALE: 1/8" = 1'-0"



1
A3.0 PARTIAL DEMOLITION
EAST ELEVATION (F&O)
SCALE: 1/8" = 1'-0"



MACOMB COUNTY
F & O / PURCHASING OFFICE RENOVATION
VIC WERTZ BUILDING

SECTIONS

- PRELIMINARY
- DESIGN DEVELOPMENT
- CONSTRUCTION
- FINAL RECORD

DRAWN BY: DC/WNL
CHECKED BY: RS/DCW

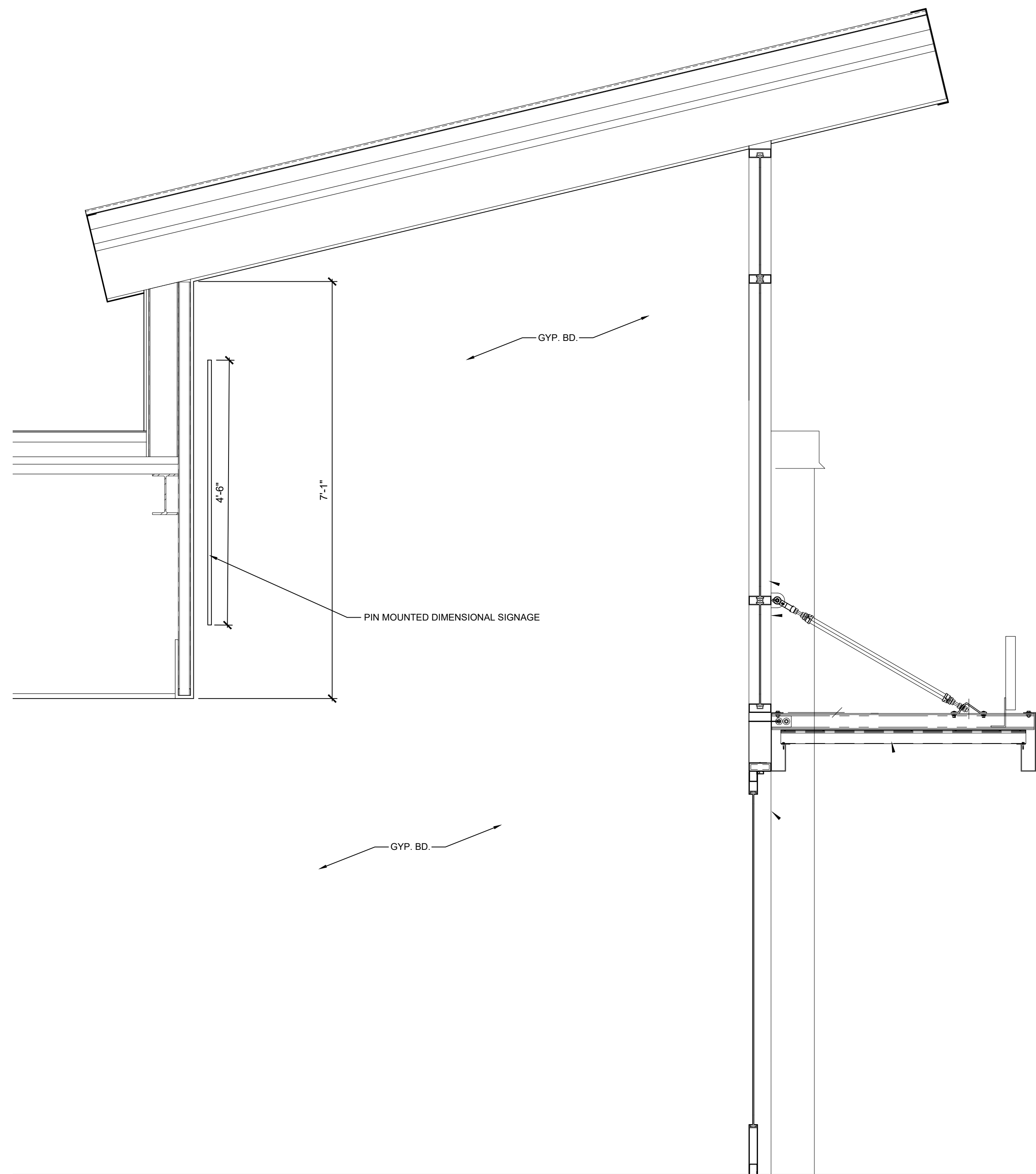
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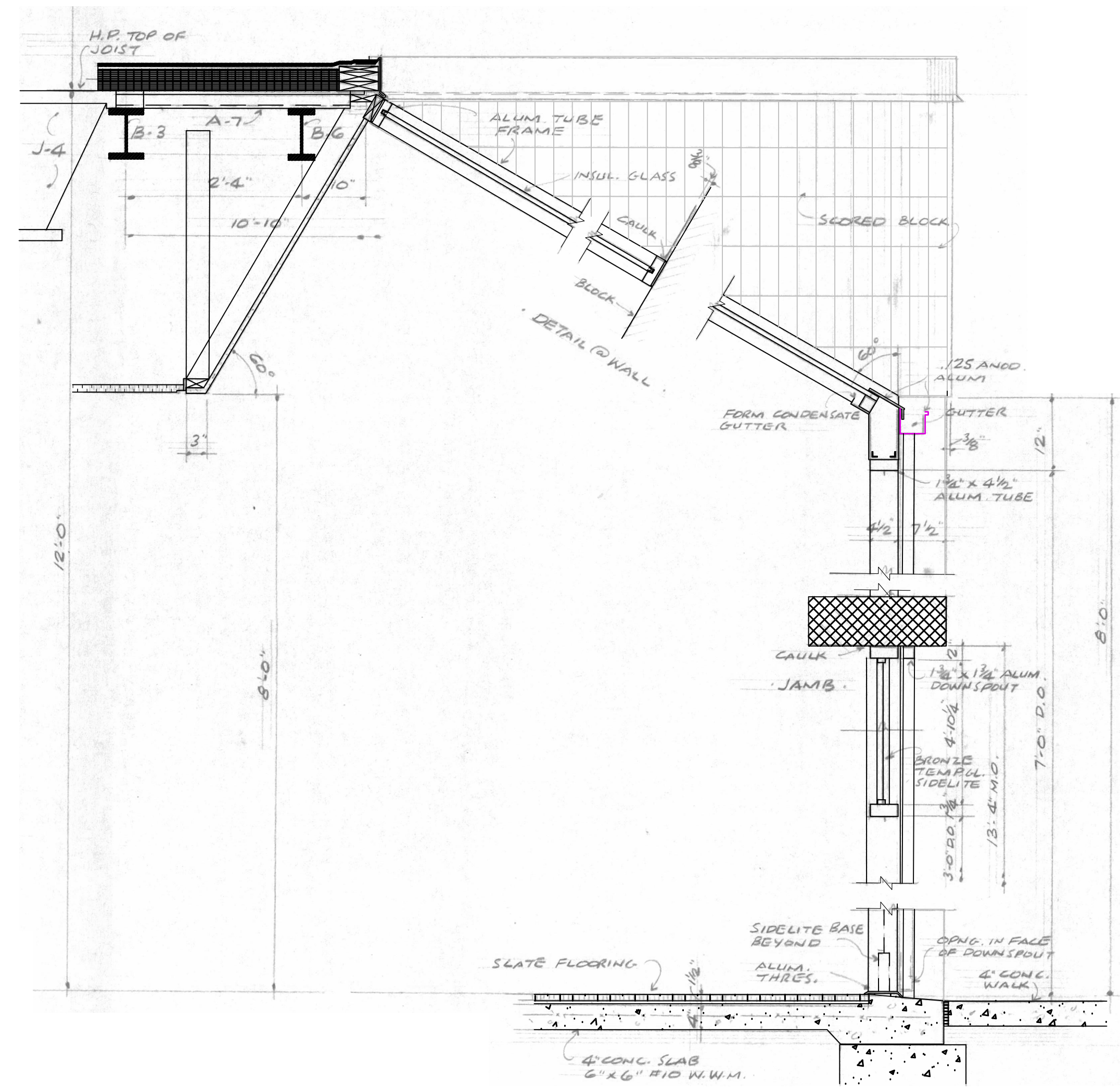
SHEET NO.

A4.0

JOB NO.
242053



SECTION @
NEW ENTRY - OPTION 01
2
A4.0 SCALE: 3/4" = 1'-0"



EXISTING SECTION
1
A4.0 SCALE: 3/4" = 1'-0"

MACOMB COUNTY
F & O / PURCHASING OFFICE RENOVATION
VIC WERTZ BUILDING

SECTIONS

- PRELIMINARY
- DESIGN DEVELOPMENT
- CONSTRUCTION
- FINAL RECORD

DRAWN BY: DC/WNL
CHECKED BY: RS/DCW

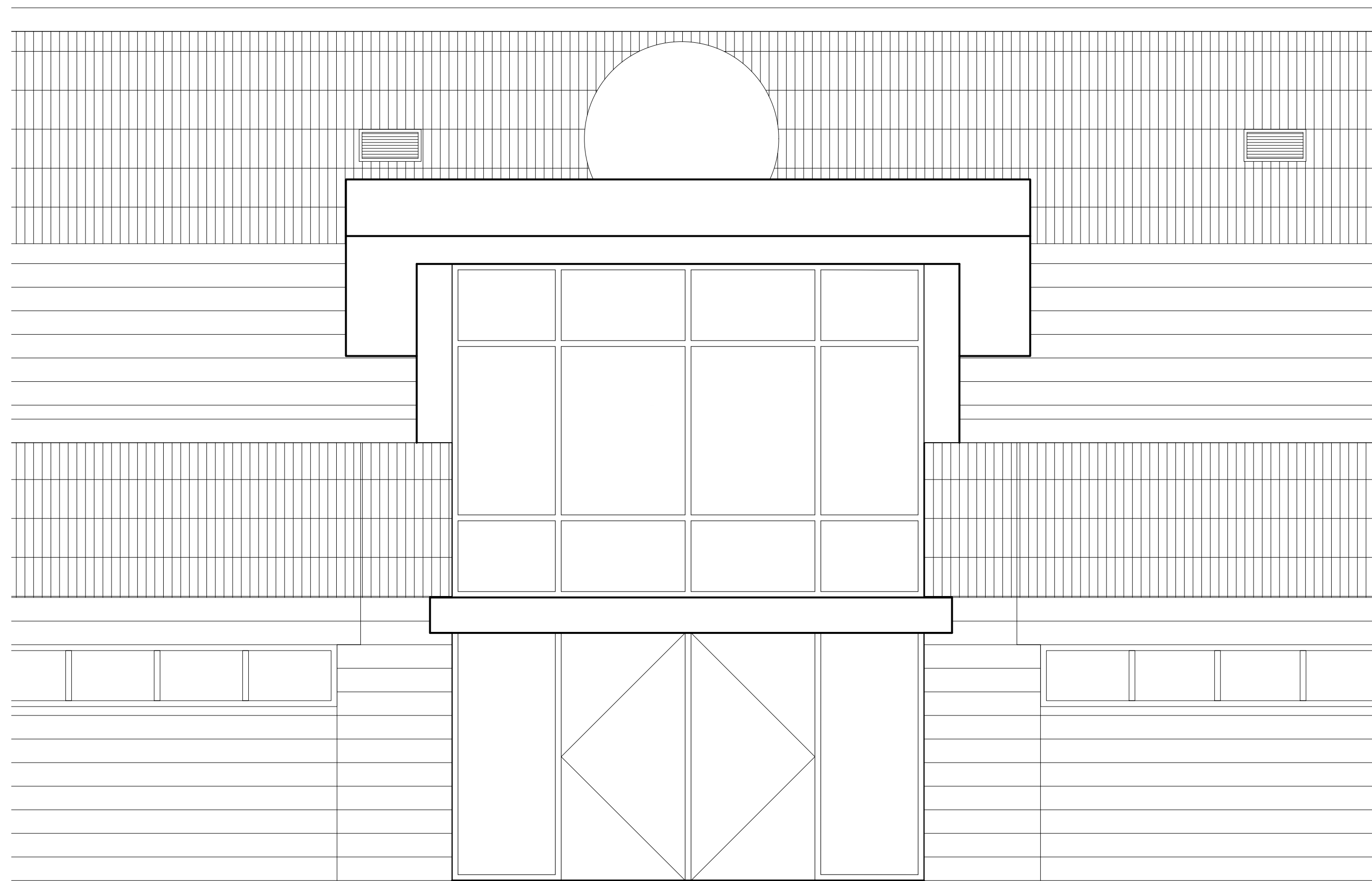
REVISIONS
ADDENDUM No. 1 11-7-2024
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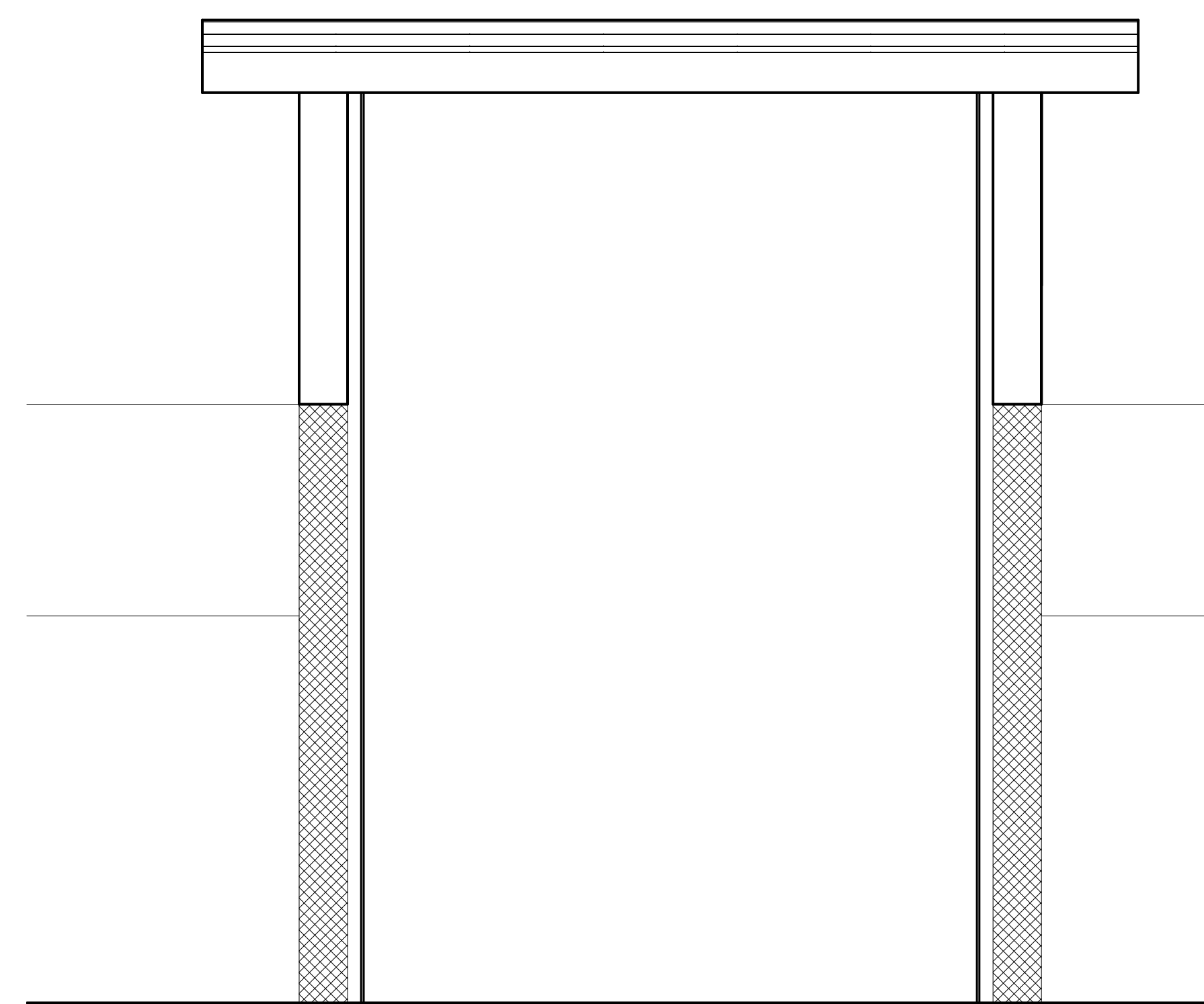
SHEET NO.

A4.1

JOB NO.
242053



2 NEW WORK ELEVATION @ P&O ENTRANCE
A4.0 SCALE: 3/8" = 1'-0"



1 NEW WORK SECTION @ P&O ENTRANCE
A4.0 SCALE: 3/8" = 1'-0"

DOOR SCHEDULE														
NO.	DOOR OPENING		DOOR			FRAME			DETAILS			THRESHOLD	U.L. LABEL	REMARKS
	WIDTH	HEIGHT	TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	HEAD	JAMB	SILL			
AREA "A"														
A103	3'-0"	7'-0"	F	HM	PT	2	HM	PT	H1	J1	-	-	90	-
A104	3'-0"	7'-0"	G	-	-	-	-	-	-	-	-	-	-	1
A108A	3'-0"	7'-0"	G	-	-	-	-	-	-	-	-	-	-	1
A108B	3'-0"	7'-0"	G	-	-	-	-	-	-	-	-	-	-	1
A109	3'-6"	7'-0"	G	-	-	-	-	-	-	-	-	-	-	1
A110	3'-0"	7'-0"	G	-	-	-	-	-	-	-	-	-	-	1
A111A	3'-0"	7'-0"	G	-	-	-	-	-	-	-	-	-	-	1
A111B	3'-0"	7'-0"	G	-	-	-	-	-	-	-	-	-	-	1
A113	3'-0"	7'-0"	F	WD	ST	2	HM	PT	H1	J1	-	MAR	-	
A115	3'-0"	7'-0"	F	HM	PT	2	HM	PT	H2	J2	-	-	90	-
A116	3'-0"	7'-0"	G	-	-	-	-	-	-	-	-	-	-	1
A119	3'-0"	7'-0"	G	WD	ST	2	HM	PT	H1	J1	-	-	-	-
AREA "B"														
B101	3'-0"	7'-0"	G	-	-	-	-	-	-	-	-	-	-	2
B102	3'-0"	7'-0"	F	HM	PT	2	HM	PT	H2	J2	-	-	90	-
B103	3'-0"	7'-0"	G	-	-	-	-	-	-	-	-	-	-	2
B104	3'-0"	7'-0"	G	-	-	-	-	-	-	-	-	-	-	2
B107	3'-0"	7'-0"	G	-	-	-	-	-	-	-	-	-	-	2
B110	3'-0"	7'-0"	G	-	-	-	-	-	-	-	-	-	-	2
B112	3'-0"	7'-0"	G	-	-	-	-	-	-	-	-	-	-	2
B113	3'-0"	7'-0"	G	-	-	-	-	-	-	-	-	-	-	2
B115A	(2)3'-0"	7'-0"	G	AL	PFN	1	AL	PFN	H1	J1	-	-	-	-
B115B	(2)3'-0"	7'-0"	G	AL	PFN	1	AL	PFN	H1	J1	AL	-	-	-
B117	3'-0"	7'-0"	F	WD	ST	2	HM	PT	H1	J1	-	MAR	-	
B118	3'-0"	7'-0"	N	WD	ST	2	HM	PFN	H1	J1	-	-	-	-
B119	3'-0"	7'-0"	N	WD	ST	2	HM	PFN	H1	J1	-	-	-	-

REMARKS - DOOR SCHEDULE	
1	SWING DOOR, FRAME, AND HARDWARE PROVIDED BY DEMOUNTABLE PARTITION COMPANY
2	SLIDING DOOR, FRAME, AND HARDWARE PROVIDED BY DEMOUNTABLE PARTITION COMPANY
3	-

ABBREVIATIONS	
AL	ALUMINUM
HM	HOLLOW METAL
PFN	PRE-FINISHED
PT	PAINT
MAR	MARBLE
ST	STAIN
WD	WOOD

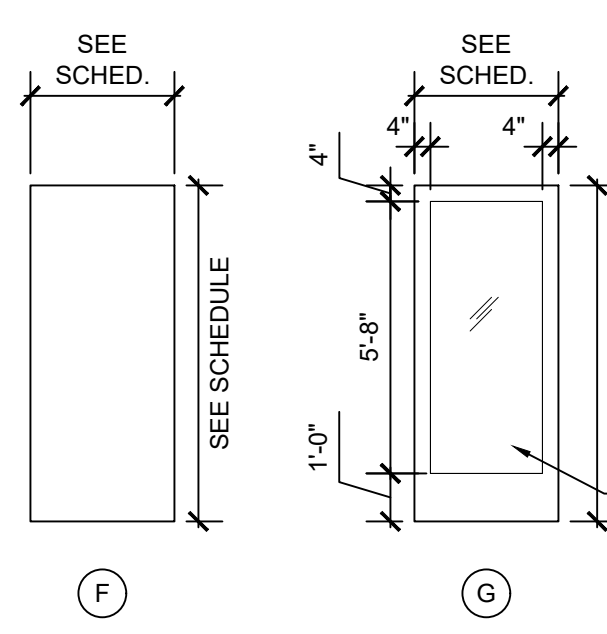
ROOM FINISH SCHEDULE										
NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING		REMARKS
				NORTH	SOUTH	WEST	EAST	MAT'L	HGT.	
AREA "A" - PURCHASING										
A100	EXISTING STAIR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	-
A101	CORRIDOR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	-
A102	EXIST. STORAGE	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	-
A103	VESTIBULE	WOC	CT	PT	PT	PT	PT	ACT	9'-0"	1,3,4
A104	TECH.	LVT	RB	PT	PT	PT	PT	ETR	ETR	1,3,4,5
A105	CORRIDOR	LVT	RB	PT	PT	PT	PT	ACT	8'-0"	1,3,4,5
A106	WAITING	LVT	RB	PT	PT	PT	PT	ACT	8'-0"	1,4,5
A107	RECEPTION	CPT	RB	PT	DP	GL,PT	DP	ACT	9'-0"	1,2,4,5
A108	OFFICE	CPT	RB	PT	PT	PT	DP	ACT	9'-0"	1,2,3,4,5
A109	RECEPTION	CPT	RB	PT	PT	PT	DP	ACT	9'-0"	1,2,4,5
A110	OFFICE	CPT	RB	PT	PT	PT	DP	ACT	9'-0"	1,2,4,5
A111	CORRIDOR	LVT	RB	DP	DP	DP	DP	ACT	8'-0"	1,2,4,5
A112	COAT CLOSET	LVT	RB	PT	PT	PT	DP	ACT	8'-0"	1,2,4,5
A113	TOILET	CT	CT	CT	CT	CT	CT	ACT	8'-0"	1,3,4,5
A114	KITCHEN	LVT	RB	PT	PT	PT	DP	ACT	8'-0"	1,2,3,4,5
A115	OPEN OFFICE	CPT	RB	PT	PT	PT	DP	ACT	9'-0"	1,2,3,4,5
A116	OFFICE	CPT	RB	PT	PT	PT	DP	ACT	9'-0"	1,2,3,4,5
A117	EXISTING STAIR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	-
A118	CORRIDOR	LVT	RB	PT	DP	DP	PT,DP	ACT	8'-0"	1,2,3,4,5
A119	OFFICE	CPT	RB	PT	PT	PT	DP	ACT	9'-0"	1,2,3,4,5
A120	COPY ROOM	CPT	RB	ETR	ETR	ETR	ETR	ACT	ETR	-
AREA "B" - FACILITIES AND OPERATION										
B100	EXISTING STORAGE	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	-
B101	OFFICE	CPT	RB	DP	PT	DP	PT	ACT	9'-0"	1,2,3,4,5
B102	OPEN OFFICE	CPT	RB	PT	PT	PT	DP	LW	8'-8"	2,3,4,5
B103	OFFICE	CPT	RB	DP	DP	DP	PT	ACT	9'-0"	2,3,4,5
B104	OFFICE	CPT	RB	DP	DP	DP	PT	ACT	9'-0"	2,3,4,5
B105	EXIST. MECH./ELEC.	ETR	ETR	ETR	ETR	ETR	ETR	ETR	ETR	-
B106	OPEN CORRIDOR	LVT	RB	PT	PT	PT	DP	ES	ETR	1,3,4,5,6
B107	OFFICE	CPT	RB	DP	DP	DP	PT	ACT	9'-0"	2,3,4,5
B108	COLLABORATION	CPT	RB	PT	PT	PT	PT	ES/PT	ETR	1,3,4,5
B109	KITCHEN	LVT	RB	PT	PT	PT	PT	ES/PT	ETR	1,3,4,5
B110	OFFICE	CPT	RB	DP	PT	PT	DP	ACT	9'-0"	1,2,3,4,5
B111	CORRIDOR	LVT	RB	PT	PT	DP	DP	ES/PT	ETR	1,3,4,5,6
B112	OFFICE	CPT	RB	DP	DP	DP	PT	ACT	9'-0"	1,2,3,4,5
B113	OFFICE	CPT	RB	PT	DP	DP	PT	ACT	9'-0"	1,2,3,4,5
B114	RECEPTIONIST	CPT	RB	PT	DP	PT	PT	LW	8'-8"	2,3,4,5
B115	VESTIBULE	CT	CT	ETR	ETR	PT/GL	GL	ES/PT	ETR	1,3,4,6
B116	CORRIDOR	LVT	RB	PT	PT	PT	PT/GL	ES/PT	ETR	1,3,4,6
B117	TOILET	CT	CT	CT/PT	CT/PT	CT/PT	CT/PT	ACT	ETR	3,4
B118	PRINT ROOM	ETR	ETR	ETR	ETR	ETR	ETR	ACT	ETR	-
B119	CONFERENCE	ETR	ETR	ETR	ETR	ETR	ETR	ACT	ETR	-

SIGNAGE SCHEDULE				
QTY	PLAN NO.	TYPE	MOUNTING	TEXT
AREA "A" - PURCHASING				
1	A100	A	1	LINE 1: STAIR
1	A113	A	1	LINE 1: UNISEX
1	A117	A	1	LINE 1: STAIR
AREA "B" - FACILITIES AND OPERATION				
1	B117	A	1	LINE 1: UNISEX

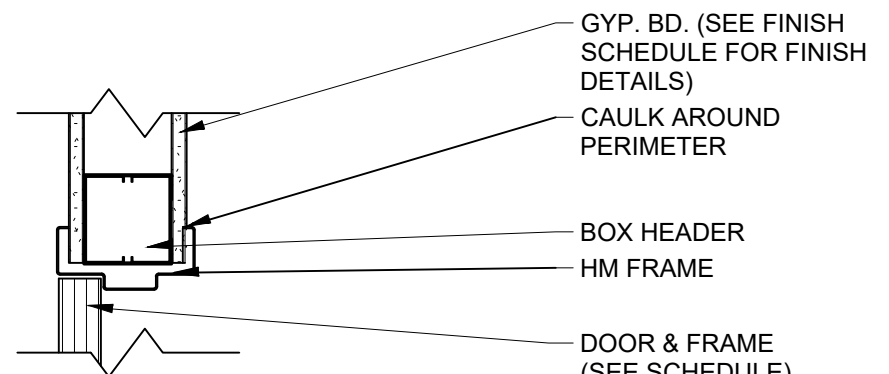
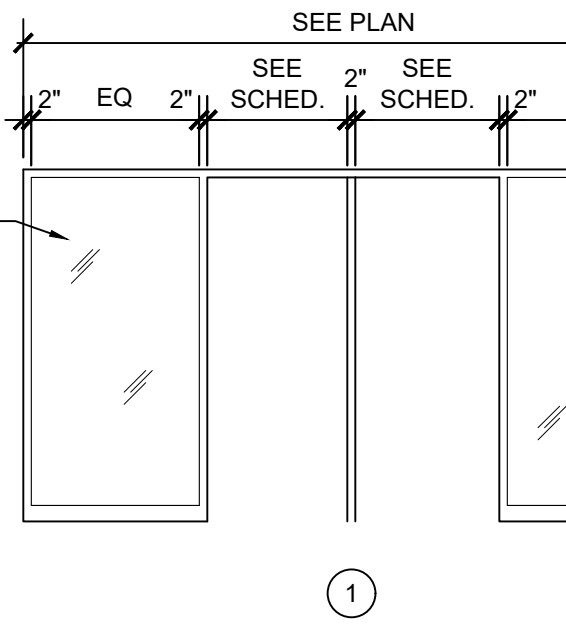
REMARKS - ROOM SCHEDULE	
1	ALL GYPSUM BOARD TO BE 5/8" HIGH ABUSE BOARD UNLESS OTHERWISE NOTED.
2	DEMOUNTABLE PARTITION COMPANY TO PROVIDE CEILING CLIPS TO ANCHOR NEW CEILING TO NEW DEMOUNTABLE PARTITIONS
3	PATCH AND REPAIR ALL EXISTING WALLS REQUIRED.
4	PROVIDE AND INSTALL ALL REQUIRED FLOOR TRANSITIONS, PIECES, AND THRESHOLDS.
5	ALL DEMOUNTABLE PARTITIONS DO NOT HAVE RUBBER BASE INSTALLED. RUBBER BASE IS ONLY ON CONSTRUCTION WALLS.
6	IN ALL OPEN AREAS, PAINT ALL EXPOSED DECK, STRUCTURE, DUCTWORK, CONDUIT, ETC. COMPLETE FOR A FINISHED PRODUCT.

ABBREVIATIONS			
ACT	ACOUSTICAL CEILING TILE AND GRID	PT	PAINT
CMU	CONCRETE MASONRY UNITS	GL	GLASS
CT	CERAMIC TILE	DP	DEMOUNTABLE PARTITION
ETR	EXISTING TO REMAIN	LW	LINEAL WOOD
EP	EPOXY PAINT	ES	EXPOSED STRUCTURE
GB	GYPSUM BOARD	WOC	WALK-OFF CARPET

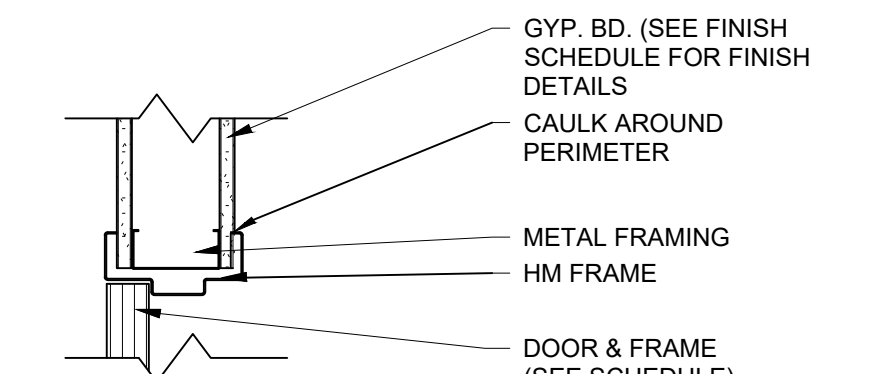
DOOR ELEVATIONS:



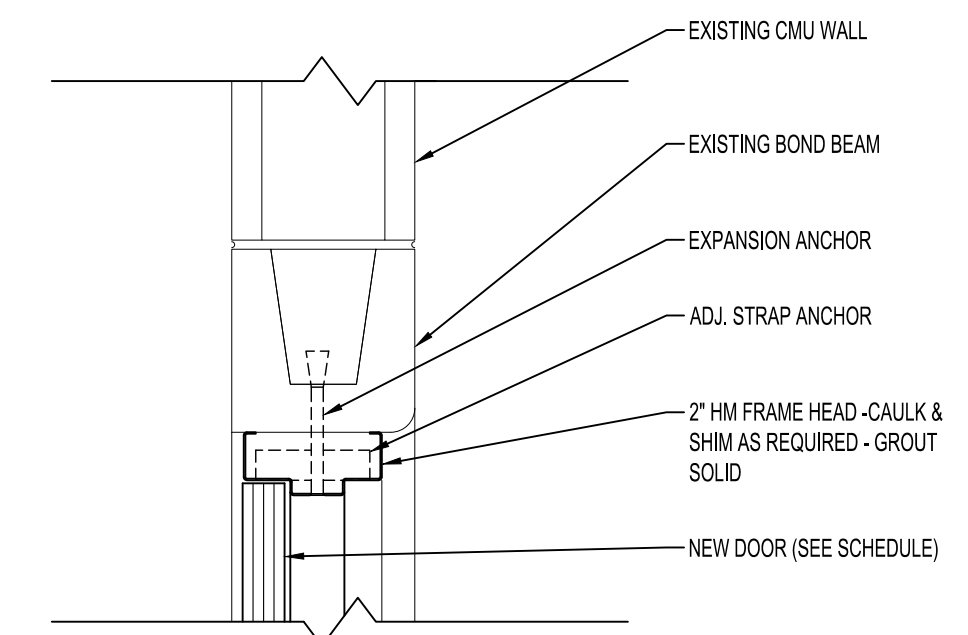
FRAME ELEVATIONS:



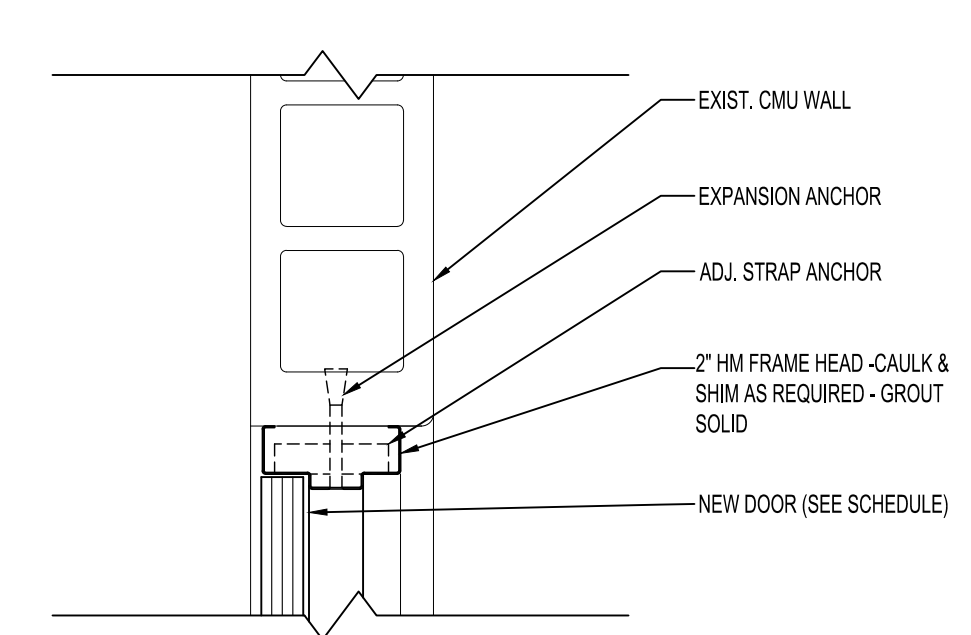
H1 HEAD DETAIL
SCALE: 1/4" = 1'-0"



J1 JAMB DETAIL
SCALE: 1 1/2" = 1'-0"

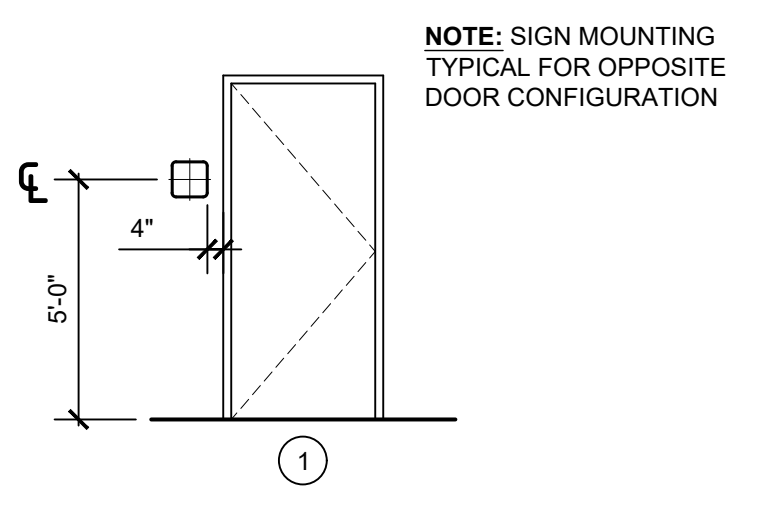
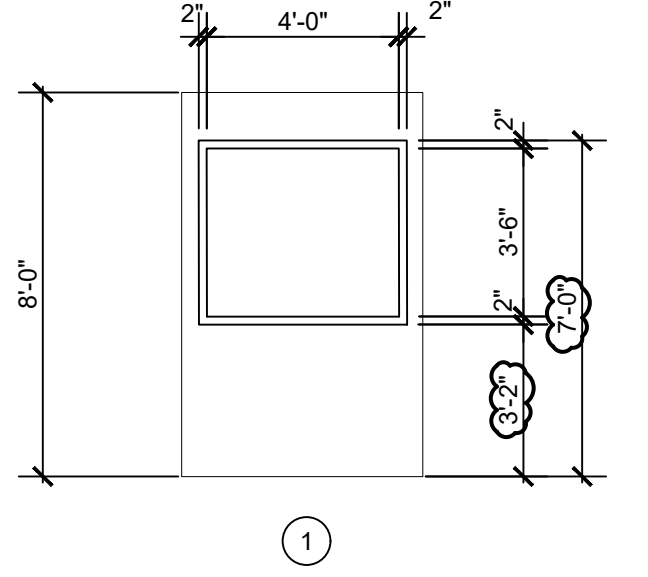


H2 MASONRY HEAD
SCALE: 1 1/2" = 1'-0"

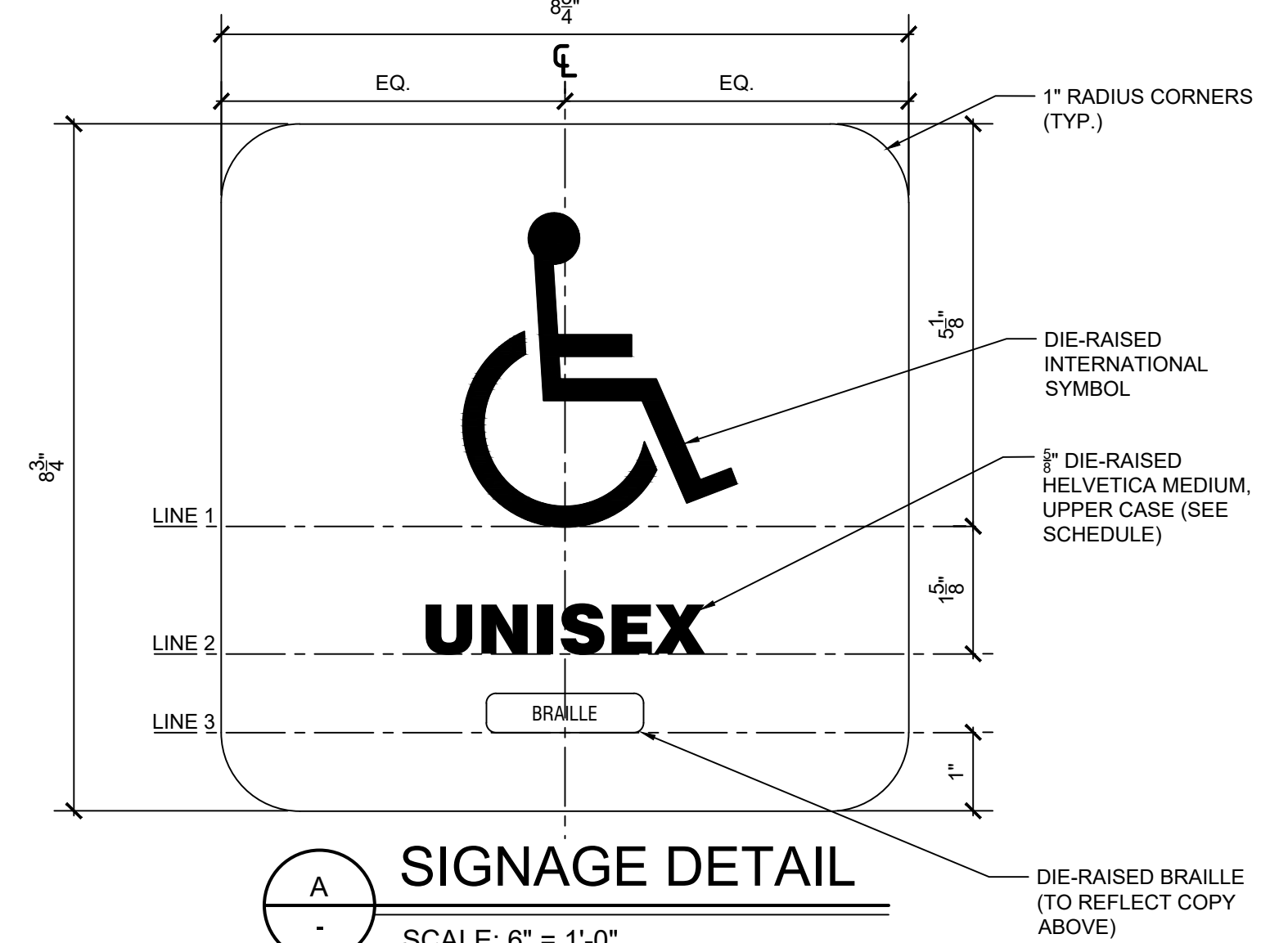


J2 MASONRY JAMB
SCALE: 1 1/2" = 1'-0"

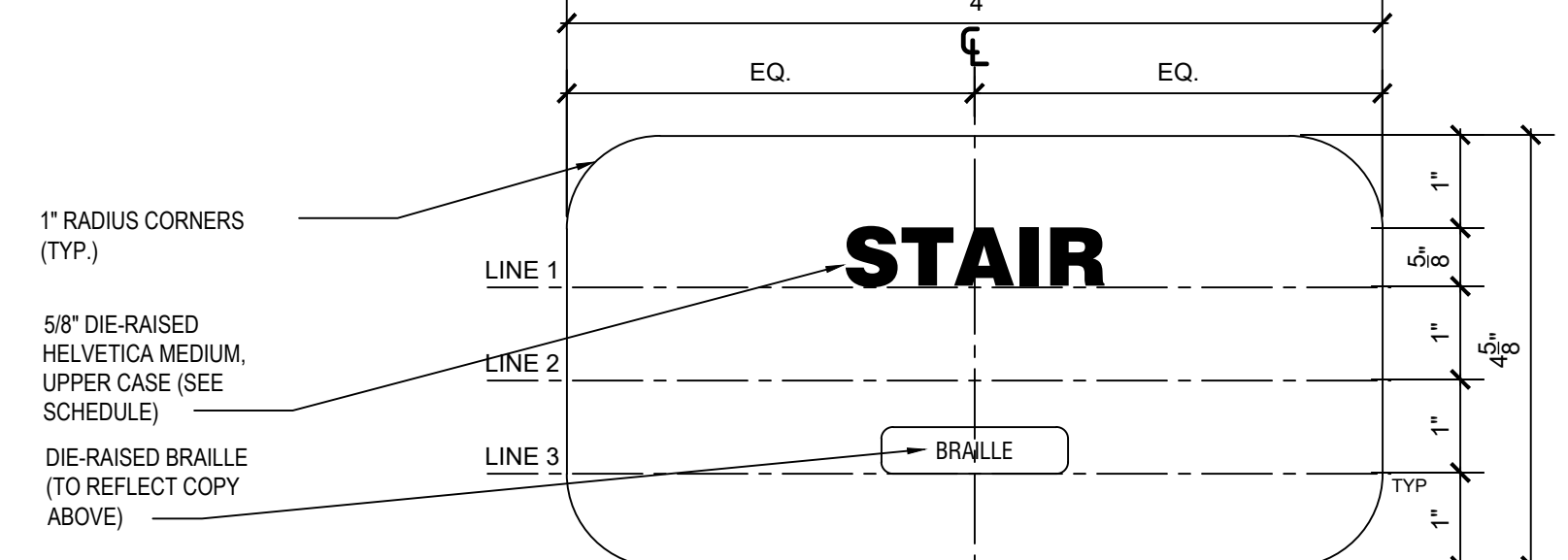
WINDOW ELEVATIONS:



1 MOUNTING DETAILS
SCALE: 1/4" = 1'-0"



A SIGNAGE DETAIL
SCALE: 6" = 1'-0"



B SIGNAGE DETAIL
SCALE: 6" = 1'-0"